



To: Board of County Commissioners

From: Joshua Grant

Date: April 10, 2025

Re: WSSUP #41  
Blum, Inc., applicant  
Parcel ID# 02372, 31610, 29857

*The following information is for use by the Lincoln County Board of Commissioners at their meeting/public hearing on June 2, 2025.*

Request

The applicant is requesting a special use permit to exceed 36% impervious surface area (or 24% with curb and gutter) for a project in the WS-IV Protected Area of the Catawba/Mountain Island Lake water supply watershed as a special nonresidential intensity allocation under the 10/70 option.

The applicant is proposing to develop a portion of a 39.1 acre site for addition/expansion to an existing industrial operation / existing business at this location.

Under the 10/70 option, 10 percent of the acreage in a watershed district may be developed with new nonresidential projects having up to 70% impervious surface area. Approval is on a project-by-project basis, subject to the issuance of a special use permit by the Board of Commissioners. One of the findings of fact that must be made in approving a permit for a special nonresidential intensity allocation is that the project will substantially increase the county's tax base or otherwise significantly promote or expand economic development and/or job opportunities, or serve a community purpose such as a place of worship, school, or other community facility.

The WS-IV Protected Area of the Catawba/Mountain Island Lake watershed covers 5,157 acres. To date, a total of 12.08 acres has been allocated under the 10/70 option. If this request is approved, 503.62 acres would be available for future allocation.



**PLANNING & INSPECTIONS DEPARTMENT**  
Joshua L. Grant, Manager

### Site Area and Description

The request involves a 39.1-acre parcel located at 7733 Old Plank Road, Stanley, NC 28164 in Catawba Springs Township. The subject property is located in the PD-I (Planned Development – Industrial) zoning district and the ELDD (Eastern Lincoln Development District) overlay. The subject property is adjoined by property zoned B-N (Neighborhood Business), B-G (General Business), I-G (Industrial General), and R-T (Transitional Residential). Land uses in this area include industrial, business, and residential uses. This property is located within an area that is designated by the Lincoln County Land Use Plan as Industrial Center, suitable for a variety of manufacturing, warehousing, and distribution uses.



## **Watershed Conditional Use Permit**

### **Application**

Lincoln County Planning and Inspections Department  
Zoning Administrator  
302 N. Academy St., Suite A, Lincolnton, NC 28092

### **PART I**

Applicant Name Blum Inc

Applicant Address 7733 Old Plank Rd Stanley, NC 28164

Applicant Phone Number 704.827.1345

Property Owner Name JULIUS BLUM INC

Property Owner Address 7733 Old Plank Rd Stanley, NC 28164

Property Owner Phone Number 704.827.1345

### **PART II**

Property Location 7733 Old Plank Rd Stanley, NC 28164

Property ID (10 digits) 4601031941, 4601025959, 4601027848 Property size 39.1 ac

Parcel # (5 digits) 02372, 31610, 29857 Deed Book(s) 553 Page(s) 801  
1094 851

### **PART III**

Watershed District WS-IVP

Briefly describe how the property is being used and any existing structures.

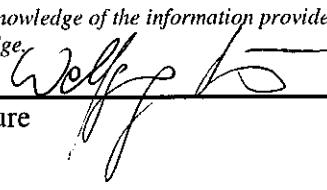
Existing industrial site with associated parking, drives, truck docks

Briefly describe the proposed project and the why it would require a Watershed Conditional Use Permit.

Expansion of the existing facility with a new 40,000 SF Building addition (BE13) consisting of a new office space and show room. In addition, renovation of an existing 40,000 SF of the building and reconfiguring the site parking and truck access.

**\$1,000.00 APPLICATION FEE MUST BE RECEIVED BEFORE PROCESSING.**

*I hereby certify that all knowledge of the information provided for this application and attachments is true and correct to the best of my knowledge.*

Applicant's Signature 

3/19/2025

Date

Application # \_\_\_\_\_ Date \_\_\_\_\_

Applicant's Name \_\_\_\_\_

Applicant's Address \_\_\_\_\_

Property Location \_\_\_\_\_ Existing Zoning \_\_\_\_\_

Proposed Special Use \_\_\_\_\_

### **PROPOSED FINDINGS OF FACT**

1. The use will not materially endanger the public health or safety if located where proposed and developed according to plan.  YES \_\_\_\_\_  NO \_\_\_\_\_

FACTUAL REASONS CITED: The use is existing on the property and proposed improvements will result in a net benefit to the stormwater treatment quantity and quality leaving the property. As well is improving vehicular movements on-site with a separate driveway for trucks.

2. The use meets all required conditions and specifications.  YES \_\_\_\_\_  NO \_\_\_\_\_

FACTUAL REASONS CITED: The existing and proposed use complies with all conditions and specifications set forth. The applicant is meeting and exceeding stormwater standards for the site.

3. The use will not substantially injure the value of adjoining or abutting property unless the use is a public necessity.  YES \_\_\_\_\_  NO \_\_\_\_\_

FACTUAL REASONS CITED: As the use is existing the proposed improvements and expansion are not anticipated to have substantial impacts to values of adjoining properties. Part of the goal of the proposed project is to increase landscaping and screening to the adjoining property while increasing functionality on-site. The improvements will also result in a net reduction in stormwater peak runoff to adjoining private property.

4. The location and character of use, if developed according to the plan as submitted and approved, will be in harmony with the area in which it is to be located and will be in general conformity with the Land Use Plan for the area in question.  YES \_\_\_\_\_  NO \_\_\_\_\_

FACTUAL REASONS CITED: The use and function of the site is existing and is in-line with the County's Comprehensive Plan which is anticipating Industrial Center (IC) in this area.

5. The proposed development will substantially increase the ad valorem tax base of Lincoln County or otherwise significantly promote or expand economic development and/or job opportunities available to Lincoln County residents or serve a community purpose such as a place of worship, school, or other community facility.  YES \_\_\_\_\_  NO \_\_\_\_\_

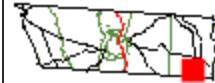
FACTUAL REASONS CITED: The proposed development will increase the tax base for Lincoln county as the proposed building is to be expanded and existing facilities renovated. This will result in the ability to increase jobs at the facility across the work spectrum.



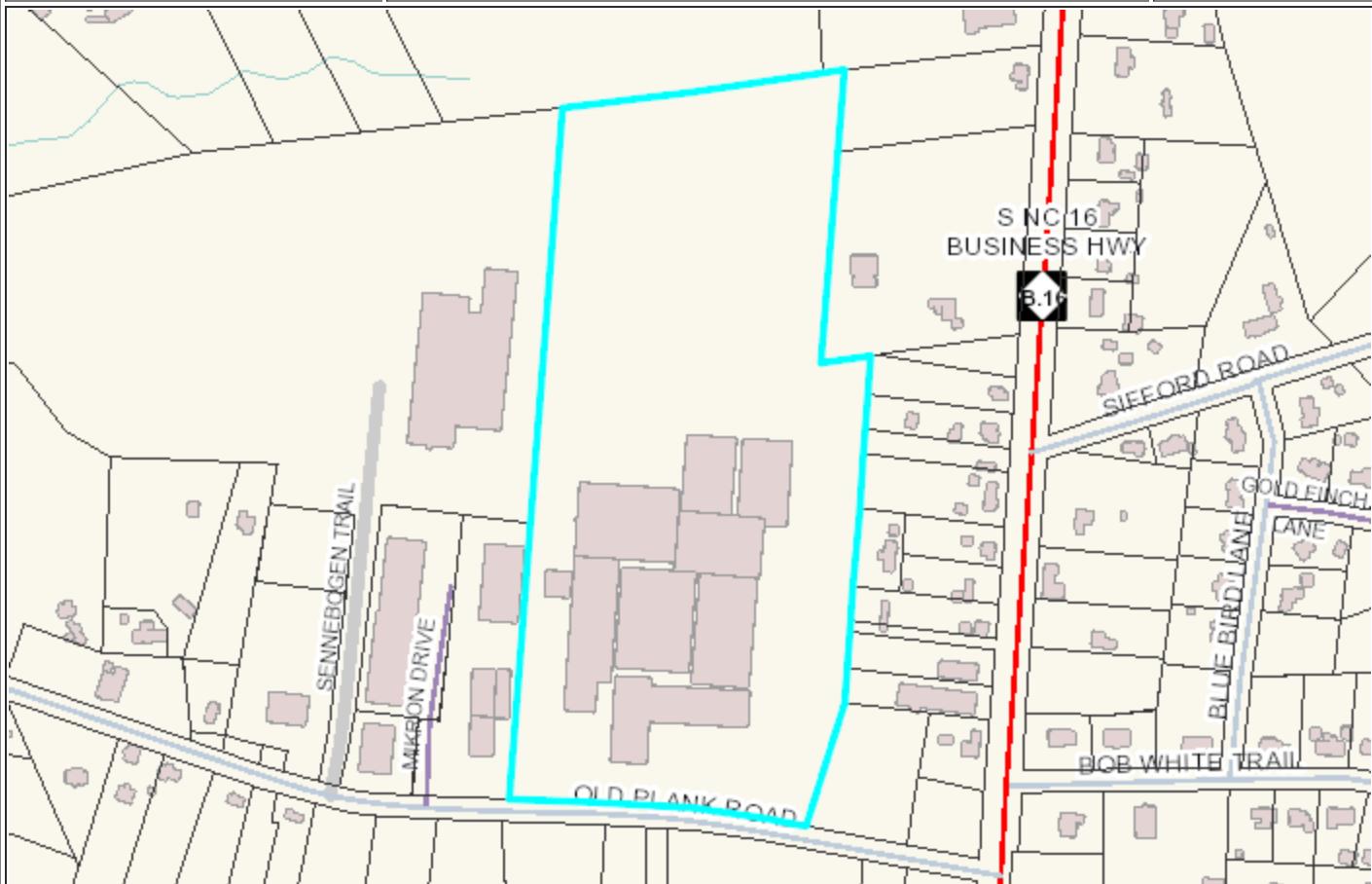
## Lincoln County, NC

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Date: 4/11/2025 Scale: 1 Inch = 500 Feet



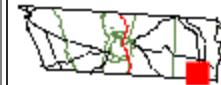
<b>Parcel ID</b>	02372	<b>Owner</b>	JULIUS BLUM INC
<b>Map</b>	4601	<b>Mailing</b>	BLUM INDUSTRIAL PRK-LOWESVILLE 7733 OLD PLANK RD
<b>Account</b>	25296	<b>Address</b>	STANLEY, NC 28164-7774
<b>Deed</b>	553 801	<b>Last Transaction Date</b>	01/01/1992
<b>Plat</b>		<b>Subdivision</b>	<b>Sale Price</b> \$0
<b>Land Value</b>	\$1,126,121	<b>Improvement Value</b>	<b>Lot</b> \$28,784,361
<b>Previous Parcel</b>			<b>Total Value</b> \$29,910,482
<b>-----All values for Tax Year 2025 -----</b>			
<b>Description</b>	BLDG RD 16	<b>Deed Acres</b>	36.43
<b>Address</b>	7733 OLD PLANK RD	<b>Tax Acres</b>	36.306
<b>Township</b>	CATAWBA SPRINGS	<b>Tax/Fire District</b>	EAST LINCOLN
<b>Main Improvement</b>	BLUM SECTION 1	<b>Value</b>	\$2,106,155
<b>Main Sq Feet</b>	44424	<b>Stories</b>	<b>Year Built</b> 1991
<b>Zoning District</b>	<b>Conditional Use</b>	<b>Calc Acres</b>	<b>Voting Precinct</b> Calc Acres
PD-I		36.31	LW31 36.31
<b>Watershed</b>		<b>Sewer District</b>	
0.48		36.31	
35.83			
<b>Census County</b>	<b>Tract</b>	<b>Block</b>	
109	071102	1070	36.31
<b>Flood</b>	<b>Zone Description</b>	<b>Panel</b>	
X	NO FLOOD HAZARD	3710369100	14.94



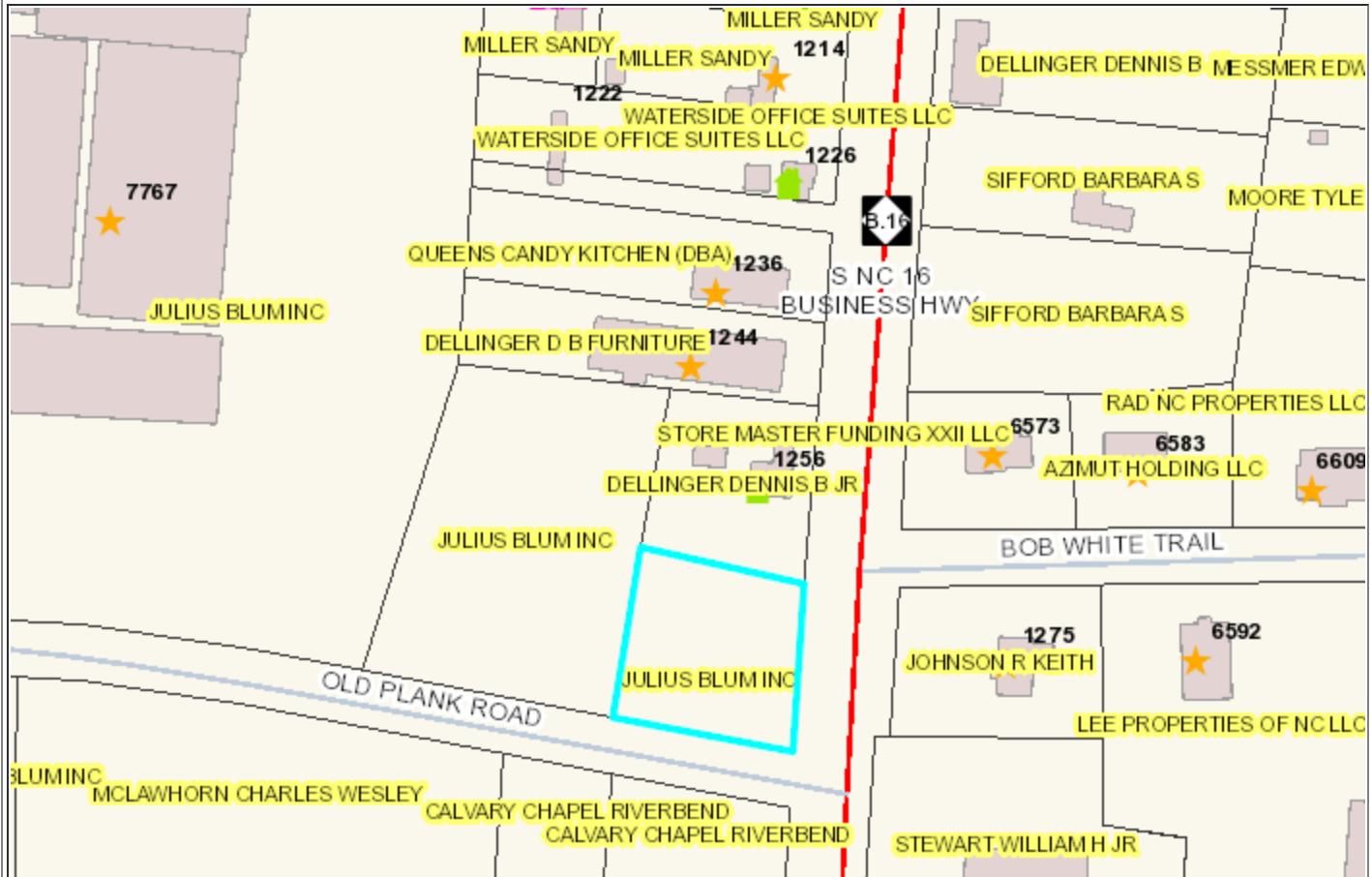
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Date: 4/11/2025 Scale: 1 Inch = 200 Feet



 <b>Photo Not Available</b>	<b>Parcel ID</b>	29857	<b>Owner</b>	JULIUS BLUM INC
	<b>Map</b>	4601	<b>Mailing</b>	BLUM INDUSTRIAL PRK-LOWESVILLE 7733 OLD PLANK RD
	<b>Account</b>	25296	<b>Address</b>	STANLEY, NC 28164-7774
	<b>Deed</b>	1094 853	<b>Last Transaction Date</b>	02/05/1999
	<b>Plat</b>		<b>Subdivision</b>	LOWESVILLE NO 1
	<b>Land Value</b>	\$61,225	<b>Improvement Value</b>	\$0
	<b>Total Value</b>	\$61,225		
	<b>Previous Parcel</b>			
	-----All values for Tax Year 2025 -----			
	<b>Description</b>	HMSTE - HWY 16 R1511		<b>Deed Acres</b> 1.15
<b>Address</b>		OLD PLANK RD		<b>Tax Acres</b> 0.79
<b>Township</b>		CATAWBA SPRINGS		<b>Tax/Fire District</b> EAST LINCOLN
<b>Main Improvement</b>				<b>Value</b>
<b>Main Sq Feet</b>		<b>Stories</b>		<b>Year Built</b>
<b>Zoning District</b>	<b>Conditional Use</b>	<b>Calc Acres</b>	<b>Voting Precinct</b>	<b>Calc Acres</b>
PD-I		0.79	LW31	0.79
<b>Watershed</b>		<b>Sewer District</b>		
0.79		0.79		
<b>Census County</b>		<b>Tract</b>	<b>Block</b>	
109		071102	1070	0.79
<b>Flood</b>	<b>Zone Description</b>	<b>Panel</b>		
X	NO FLOOD HAZARD	3710460100		0.79



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Date: 4/11/2025 Scale: 1 Inch = 200 Feet

Date: 4/11/2025 Scale: 1 Inch = 200 Feet

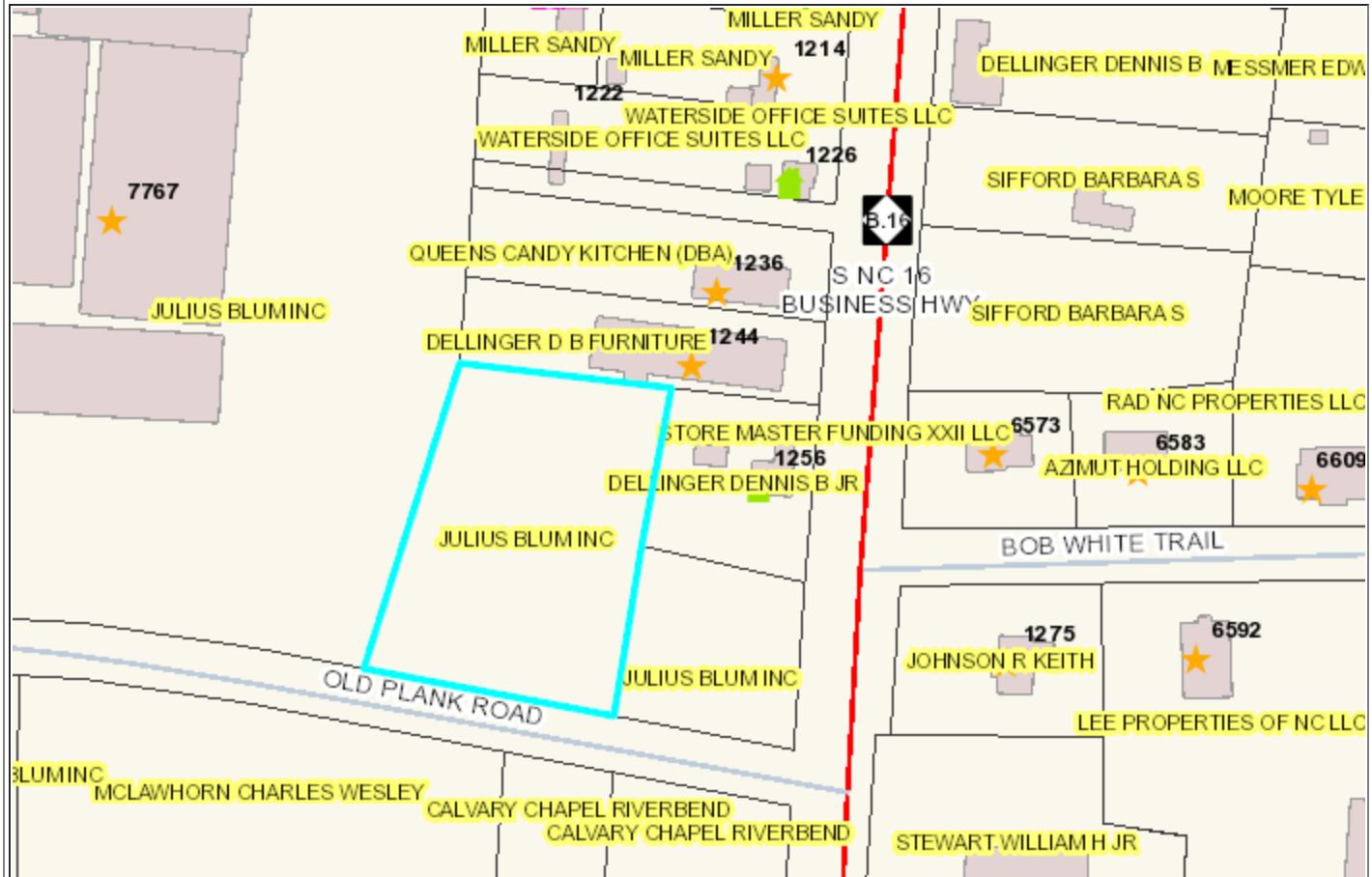


Photo Not Available

<b>Parcel ID</b>	31610	<b>Owner</b>	JULIUS BLUM INC
<b>Map</b>	4601	<b>Mailing</b>	BLUM INDUSTRIAL PRK-LOWESVILLE 7733 OLD PLANK RD
<b>Account</b>	25296	<b>Address</b>	STANLEY, NC 28164-7774
<b>Deed</b>	1094 851	<b>Last Transaction Date</b>	02/05/1999
<b>Plat</b>		<b>Subdivision</b>	LOWESVILLE NO 1 Lot
<b>Land Value</b>	\$124,992	<b>Improvement Value</b>	\$0
			<b>Total Value</b> \$124,992
<b>Previous Parcel</b>			
-----All values for Tax Year 2025-----			
<b>Description</b>	KEEVER LD RD 1511		<b>Deed Acres</b> 2
<b>Address</b>	OLD PLANK RD		<b>Tax Acres</b> 2.016
<b>Township</b>	CATAWBA SPRINGS		<b>Tax/Fire District</b> EAST LINCOLN
<b>Main Improvement</b>			
<b>Main Sq Feet</b>	<b>Stories</b>		<b>Value</b>
<b>Zoning District</b>	<b>Conditional Use</b>	<b>Calc Acres</b>	<b>Year Built</b>
PD-I		2.02	
<b>Watershed</b>			
1.19	<b>Sewer District</b>		
0.82	2.02		
<b>Census County</b>		<b>Tract</b>	<b>Block</b>
109		071102	1070
<b>Flood</b>	<b>Zone Description</b>		<b>Panel</b>
X	NO FLOOD HAZARD		3710460100
			2.02



CLOVER LAKE

R-T

Unnamed Stream

P D - I

R-T

B-N

B-G

R-SF

S-NC-16-BUSINESS HWY

Special Use District

## County Residential Districts

- R-T | Transitional Residential
- R-SF | Residential Single Family

## County Business Districts

- B-N | Neighborhood Business
- B-G | General Business
- I-G | Industrial General

## County Planned Districts

- PDI | Planned Development-Industrial

Parcel ID # 02372, 29857,  
& 31610

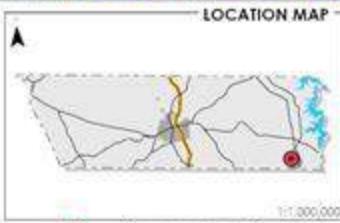
LOCATION MAP



Lincoln County  
Planning & Inspections  
115 W. Main St.  
3rd Floor  
Lincolnton, NC 28092

See Attached Application for Parcel Information

- Property Location(s)



1:1,000,000

Property Location(s)



GLOVER-LAKE

Unnamed Stream

IC

SFN

IC

IC

SENNEBOGEN-TRAIL

MIKRON-DRIVE

IC

OLD PLANK-ROAD

LLR

S=NC-16-BUSINESS-HWY

SC

SC

SFN

**Land Use Plan**

- Industrial Center (IC)
- Large Lot Residential (LLR)
- Suburban Commercial (SC)
- Single-Family Neighborhood (SFN)

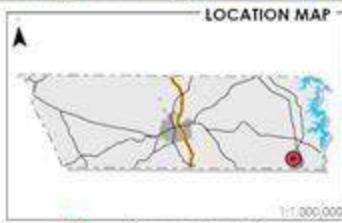
**Parcel ID # 02372, 29857,  
& 31610**

LOCATION MAP



Lincoln County  
Planning & Inspections  
115 W. Main St.  
3rd Floor  
Lincolnton, NC 28092

See Attached Application for Parcel Information



Property Location(s)

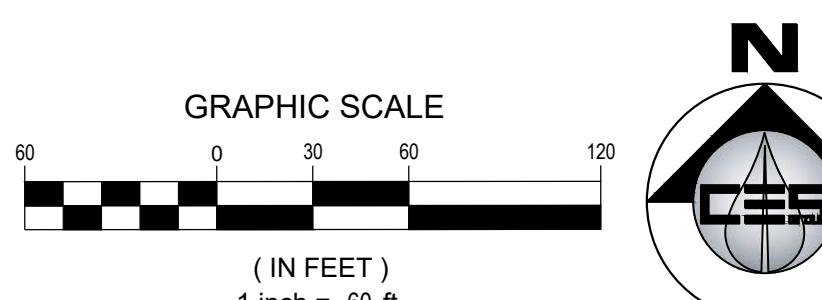
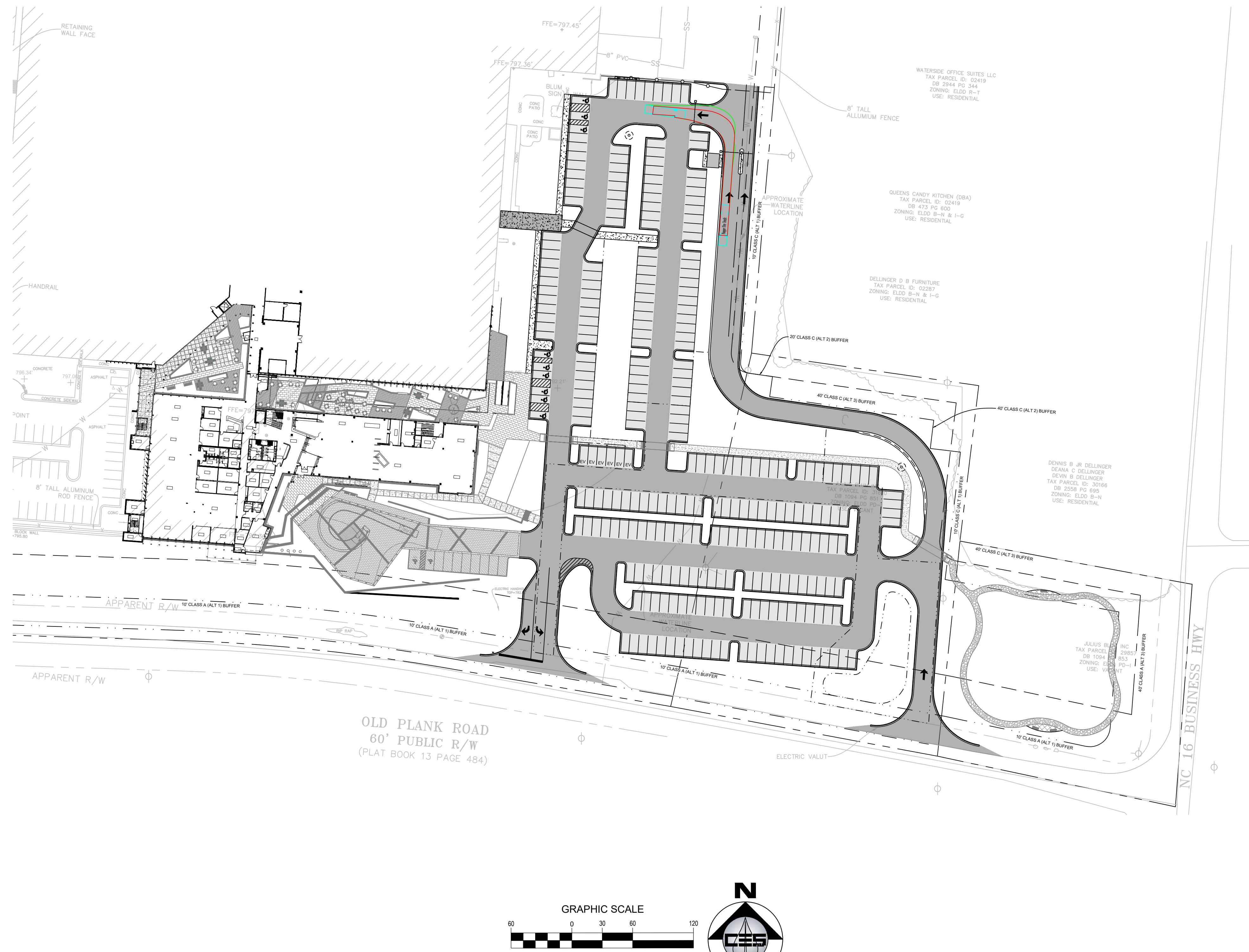
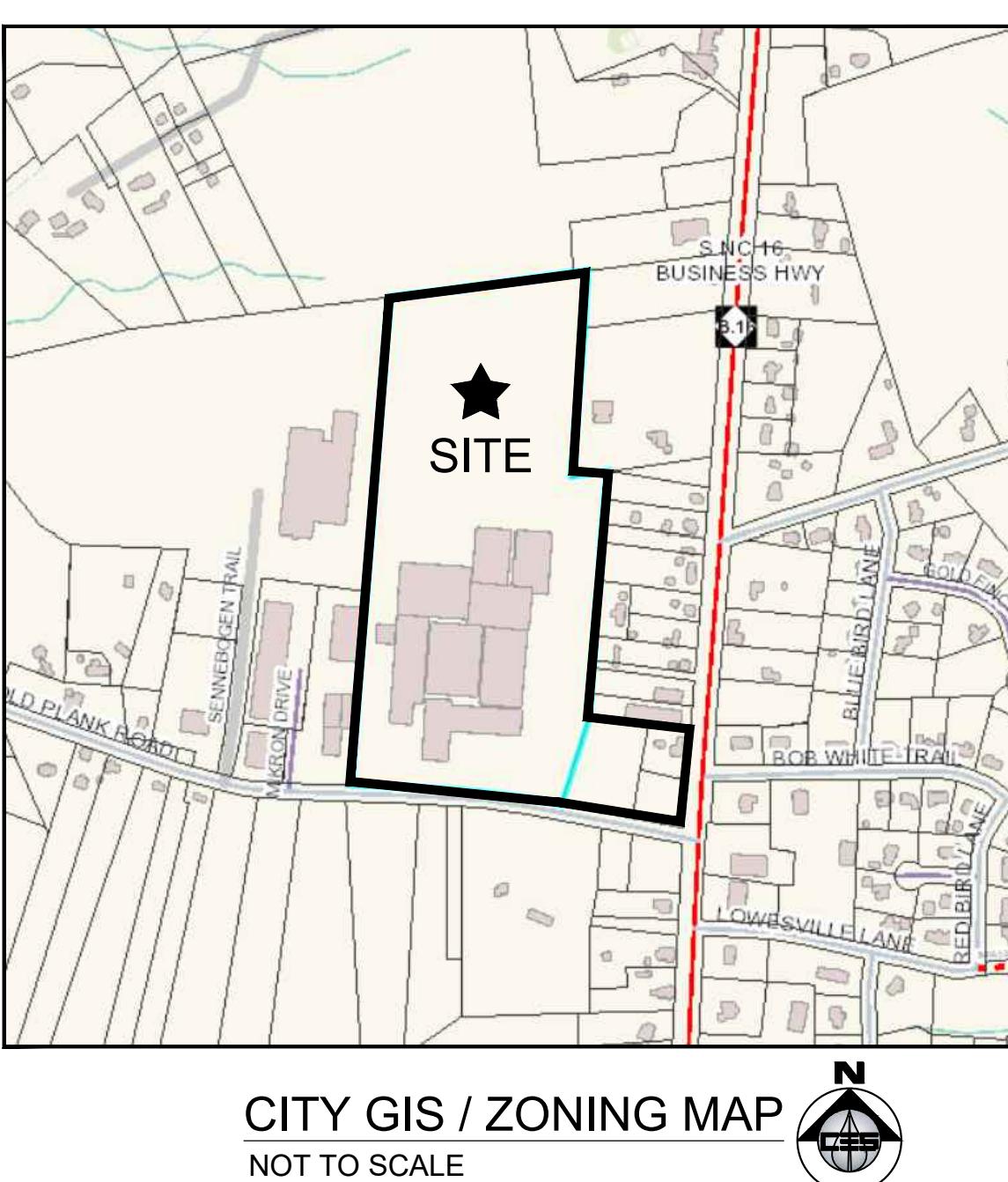
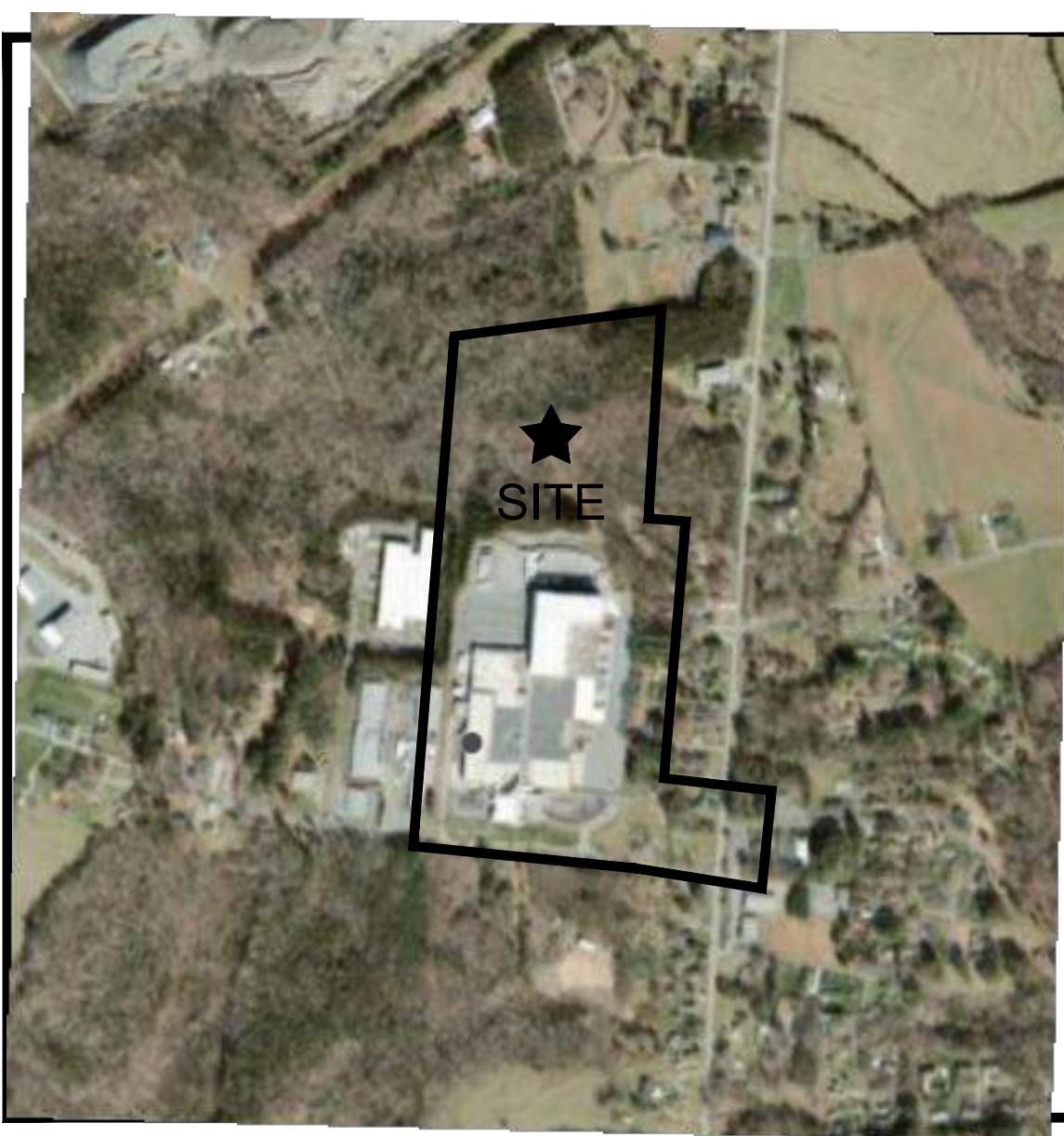
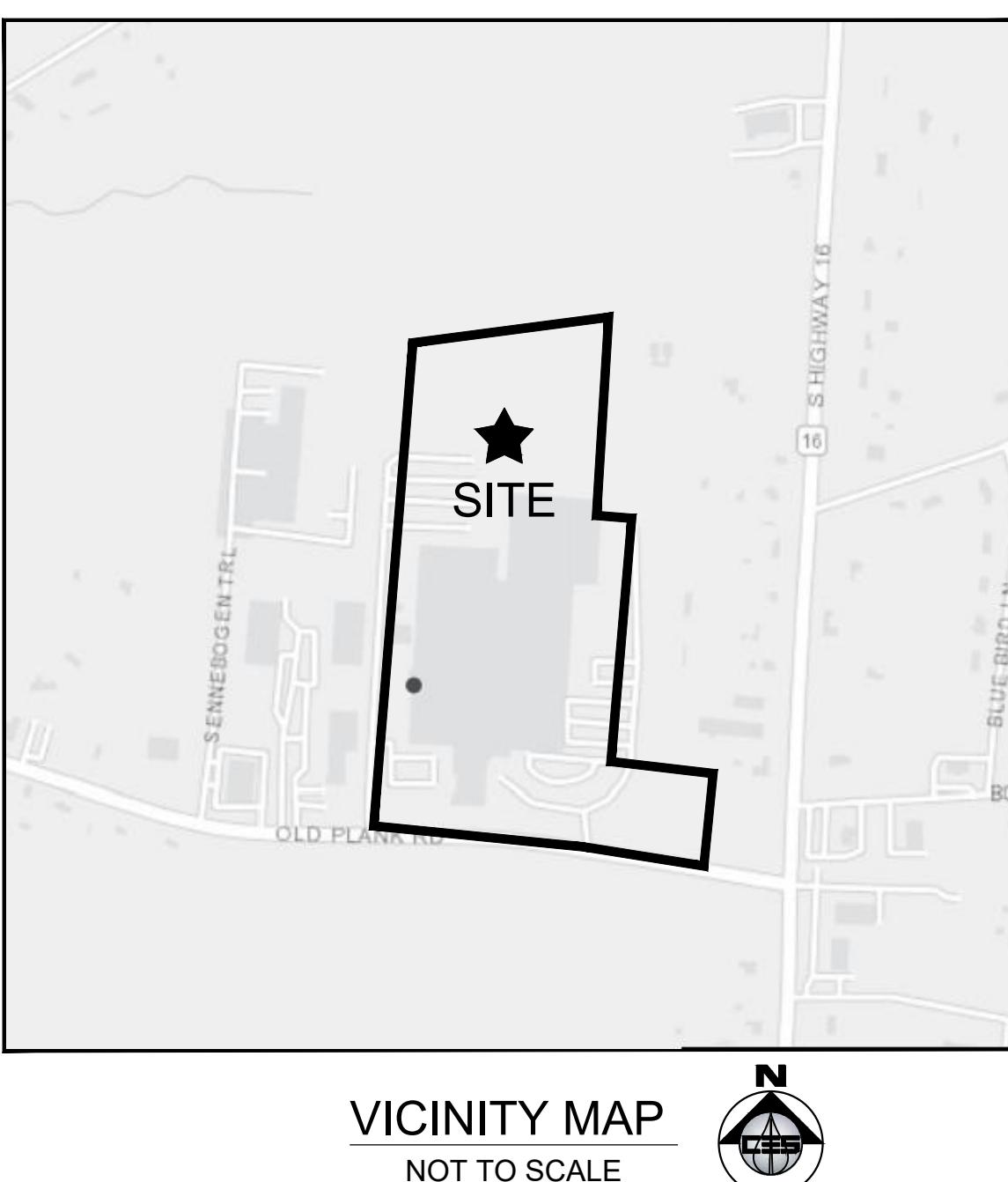
# BLUM BUILDING EXPANSION - BE13

## PRELIMINARY SET

TAX PARCEL ID 02372, 31610 AND 29857

7733 OLD PLANK ROAD, STANLEY  
LINCOLN COUNTY, NC 28164

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C2.0	OVERALL SITE PLAN
C2.2	DRIVeway PLAN AND PROFILE
C4.0	GRADING PLAN
C4.1	DETAILED GRADING PLAN - MAIN ENTRANCE
C4.2	STORM DRAINAGE PLAN
C5.0	UTILITY PLAN



OWNER / DEVELOPER  
BLUM  
(ATTN: SPENCER DAVIS)  
7733 OLD PLANK ROAD  
STANLEY, NC 28164  
PHONE: 704.627.1345

CIVIL ENGINEER  
CES GROUP ENGINEERS, LLP  
FIRM LICENSE # F-1240  
3525 WHITEHALL PARK DR, SUITE 150  
CHARLOTTE, NC 28273  
PH: 704.489.1500

LAND SURVEYOR  
CES GROUP ENGINEERS, LLP  
3525 WHITEHALL PARK DR, SUITE 150  
CHARLOTTE, NC 28273  
PH: 704.489.1500

LANDSCAPE ARCHITECT  
SEAMON WHITESIDE  
230 E PETERSON DR, SUITE B  
CHARLOTTE, NC 28217  
PHONE: 980.312.5450

ARCHITECT  
MCMILLAN PAZDAN SMITH ARCHITECTURE  
1422 S TRYON ST SUITE 700  
CHARLOTTE, NC 28203  
PHONE: 980.201.3035


PLAN REFERENCES  
THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:


- TOPOGRAPHICAL SURVEY BY CES GROUP ENGINEERS, LLP DATED 11/18/2024.
- AERIAL MAP RETRIEVED FROM NC ONE MAP DATED 11/11/2024.
- ARCHITECTURAL PLANS BY MCMILLAN PAZDAN SMITH ARCHITECTURE DATED 10/01/2024.
- HARDCAPE PLANS BY SEAMON WHITESIDE DATED 12/4/2024.

ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

DRAWN BY:  
CHECKED BY:  
SC  
JM  
SHEET NO.  
COVER SHEET  
CES PROJ. NO.  
8522.1024

C0.0









1

OLD PLANK ROAD  
60' PUBLIC R/W  
(PLAT BOOK 13 PAGE 484)

2

RIM = 783.50'  
INV IN(N)=778.43'  
INV IN(E)=776.52'  
INV OUT(W)=775.70'

END OF PIPES NOT SURVEYED  
SHOWN FOR GENERAL DIRECTION

1

D

2

DROP INLET RIM=793.66'  
INV IN(E)=790.17'  
INV IN(S)=789.06'  
INV OUT(N)=788.82'

DROP INLET RIM=795.60'  
INV OUT(S)=791.59'

PIPE END NOT FOUND

DROP INLET RIM=792.61'  
INV IN(W)=789.29'  
INV IN(S)=788.45'  
INV OUT(N)=788.36'

DROP INLET RIM=792.66'  
INV IN(W)=789.22'  
INV IN(S)=788.80'  
INV OUT(N)=788.73'

DROP INLET RIM=792.61'  
INV IN(E)=790.17'  
INV IN(S)=789.06'  
INV OUT(N)=788.82'

DROP INLET RIM=795.79'  
INV OUT(N)=795.79'

1

DROP INLET RIM=795.79'  
INV OUT(N)=795.79'

3

SANDY MILLER  
TAX PARCEL ID: 73671  
DB 3054 PG 158  
ZONING: ELDD R-T  
USE: RESIDENTIAL

3

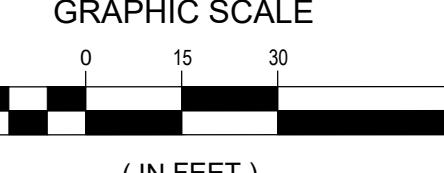
4

4

5



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Call before you dig.  
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ONE-CALL CENTER INC.  
DIAL 811 or 1-800-632-4949  
2 BUSINESS DAYS BEFORE DIGGING  
www.nccc.org



GRAPHIC SCALE  
(IN FEET)  
1 inch = 30 ft.



mcmillan  
pazdan  
smith  
ARCHITECTURE  
1422 south tryon street, suite 700  
charlotte, nc 28203



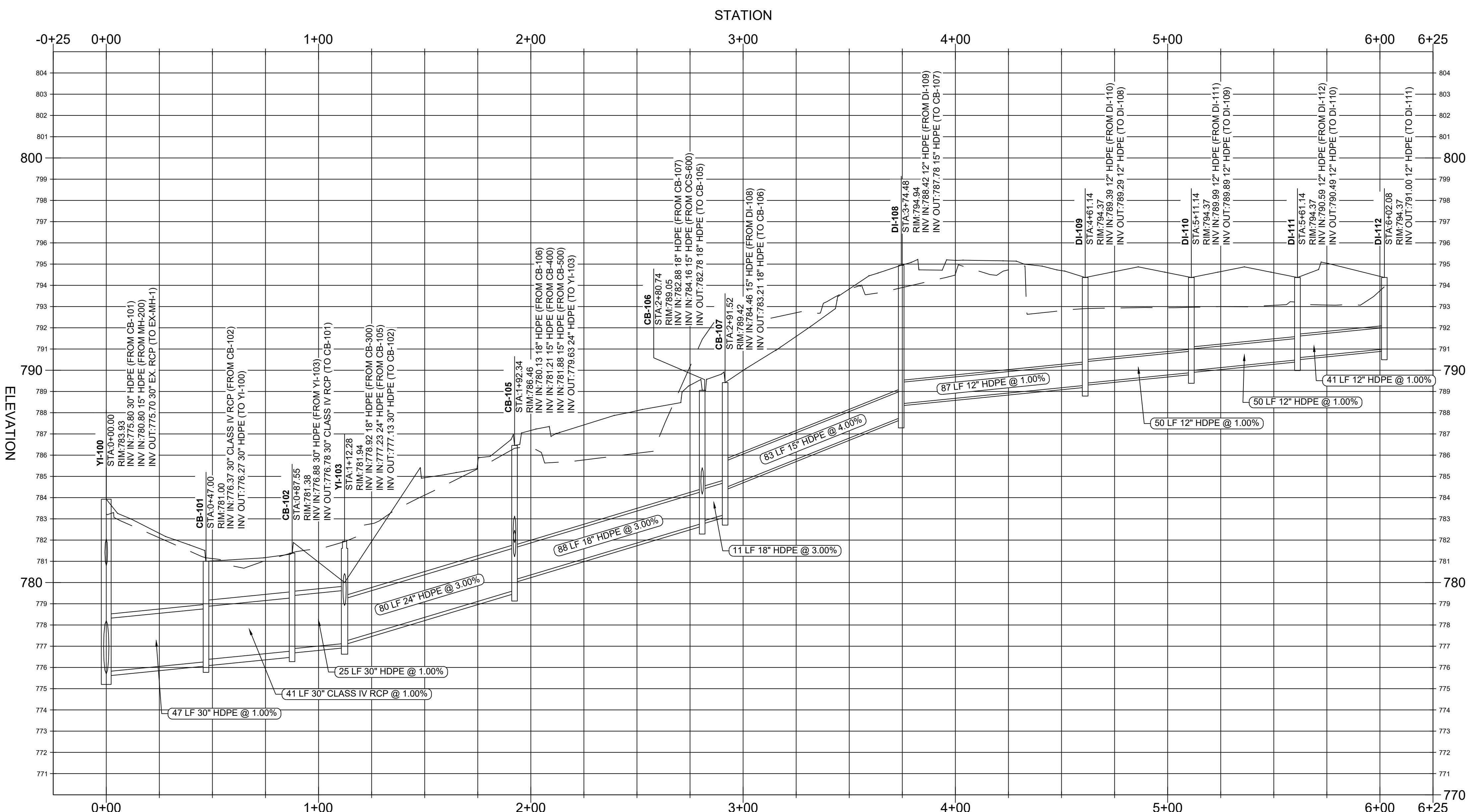
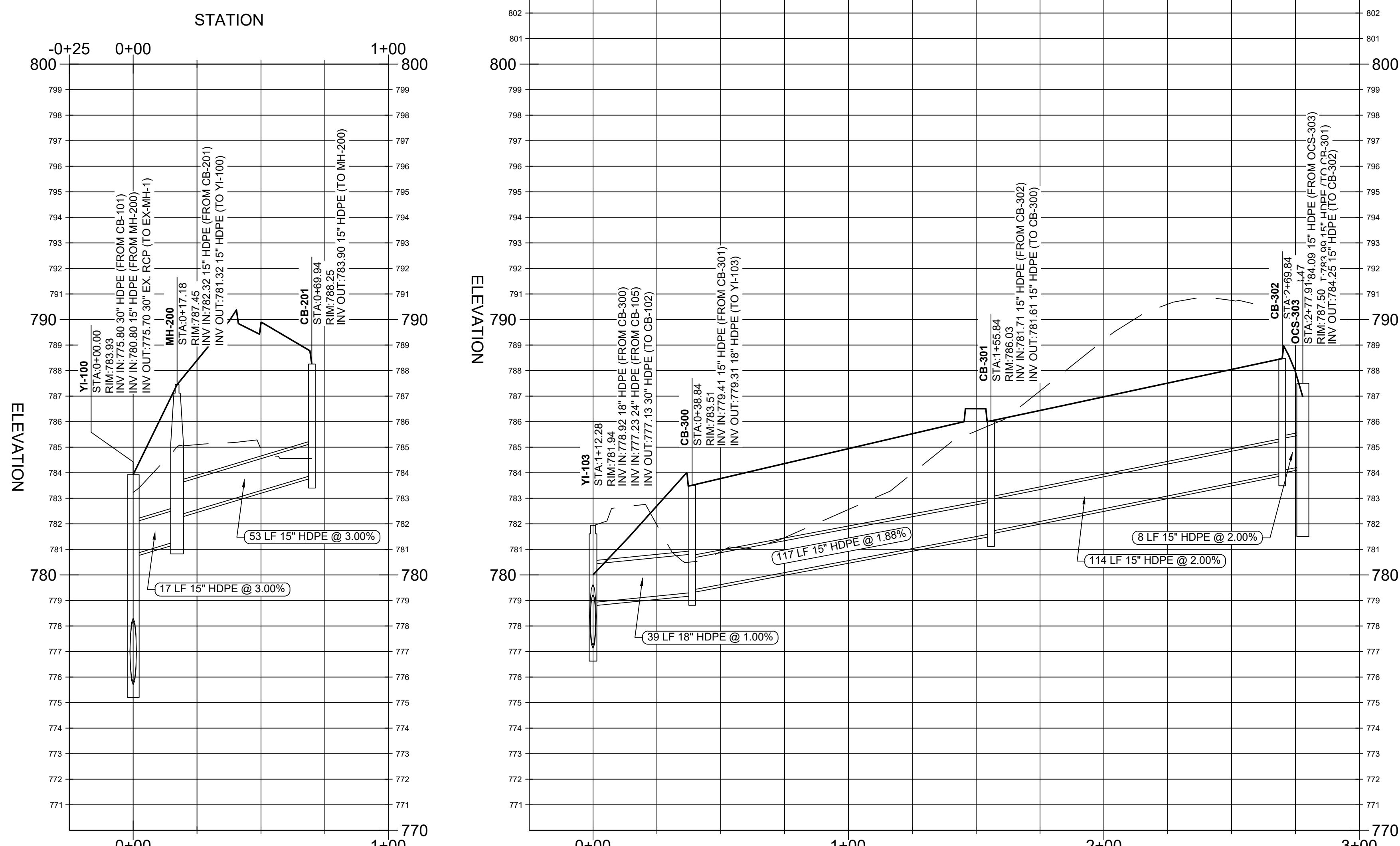
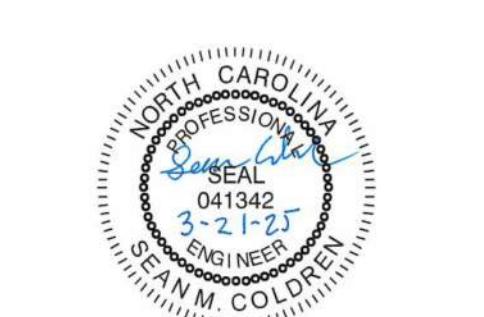
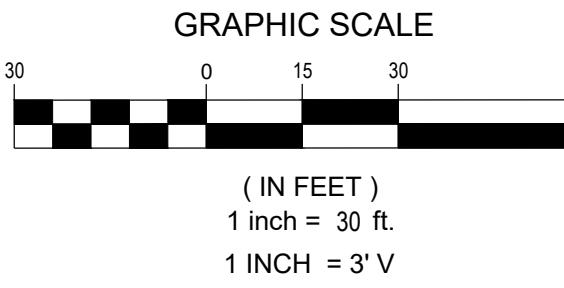
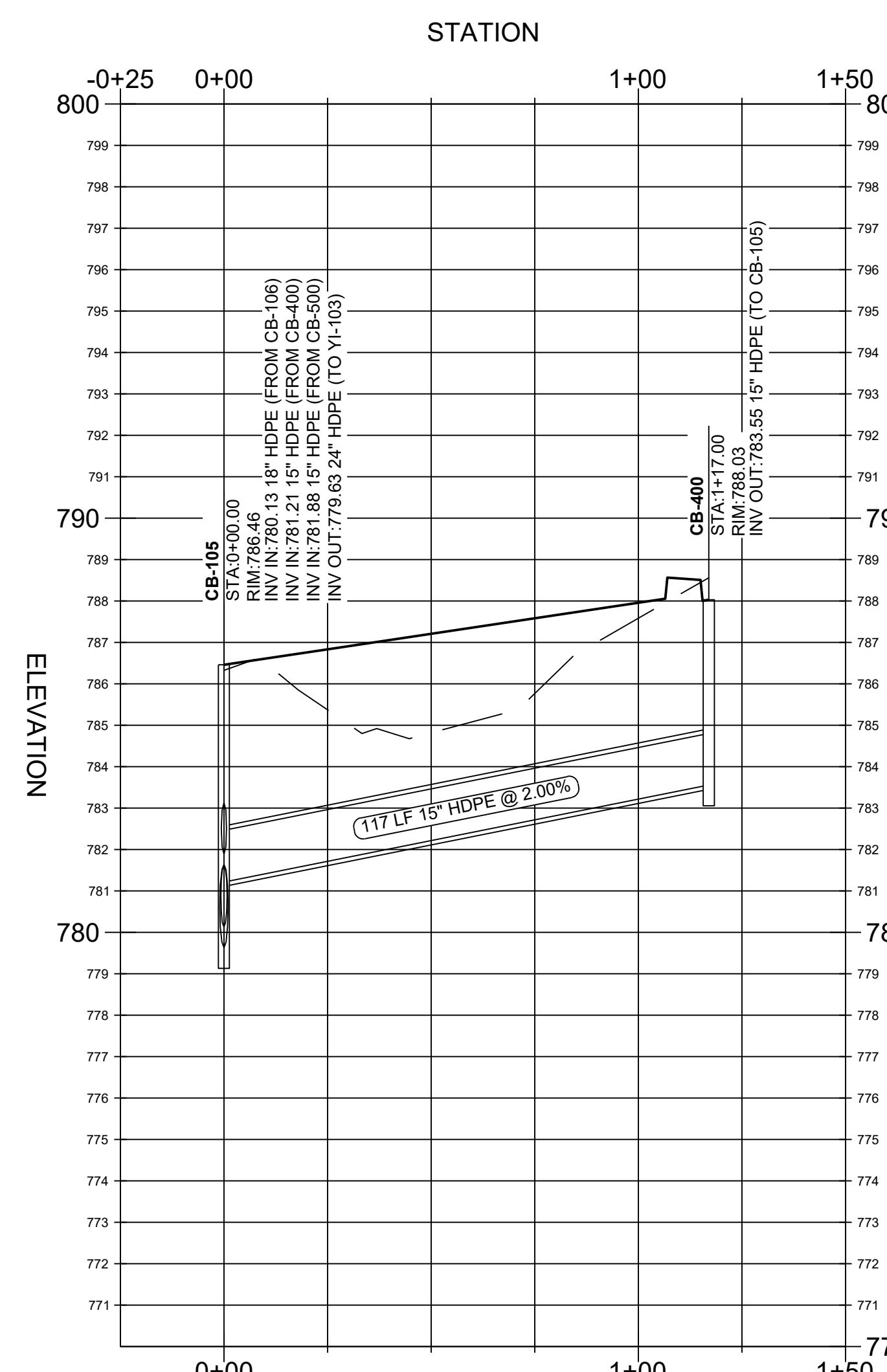
blum®

BLUM EXPANSION - BE13

BLUM US, 7733 OLD PLANK RD, STANLEY, NC 28164

SHEET ISSUE:  
NO. DATE DESCRIPTION BY  
DRAWN BY:  
REVISED BY:  
CHECKED BY:  
SHEET TITLE:  
STORM DRAINAGE PLAN  
SC  
JM  
C4.2

CES PROJ. NO.  
8522.1024

**STORM 200 PROFILE -0+25 TO 1+00****STORM 400 PROFILE -0+25 TO 1+50**

STORM STRUCTURE TABLE				
STR. NAME	RIM / INVERTS	PIPES IN	PIPES OUT	DETAIL
CB-101	RIM = 781.00 30" INV IN = 775.80 (FROM CB-102) 30" INV OUT = 776.27 (TO YI-100)	P-102, 30" CLASS IV RCP INV IN = 776.37	P-101, 30" HDPE INV OUT = 776.27	NCDOT STD #840.02
CB-102	RIM = 781.38 30" INV IN = 776.88 (FROM CB-101) 30" INV OUT = 776.78 (TO YI-100)	P-103, 30" HDPE INV IN = 776.88	P-102, 30" CLASS IV RCP INV OUT = 776.78	NCDOT STD #840.02
CB-105	RIM = 781.94 18" INV IN = 778.92 (FROM CB-106) 18" INV OUT = 778.88 (TO CB-105)	P-106, 18" HDPE INV IN = 780.19 P-400, 18" HDPE INV IN = 781.21 P-500, 18" HDPE INV IN = 781.88	P-105, 18" HDPE INV OUT = 779.63	NCDOT STD #840.02
CB-106	RIM = 782.88 18" INV IN = 782.88 (FROM CB-105) 18" INV OUT = 782.88 (TO CB-600)	P-107, 18" HDPE INV IN = 782.88 P-400, 18" HDPE INV IN = 782.16	P-106, 18" HDPE INV OUT = 782.78	NCDOT STD #840.02
CB-107	RIM = 783.52 18" INV IN = 783.52 (FROM CB-105) 18" INV OUT = 783.52 (TO CB-106)	P-108, 18" HDPE INV IN = 784.46	P-107, 18" HDPE INV OUT = 783.21	NCDOT STD #840.02
CB-201	RIM = 783.25 15" INV OUT = 779.25 (TO MH-200)	P-201, 15" HDPE INV OUT = 783.90	P-201, 15" HDPE INV OUT = 783.90	NCDOT STD #840.02
CB-300	RIM = 783.51 15" INV IN = 779.51 (FROM CB-300) 15" INV OUT = 779.51 (TO YI-103)	P-301, 15" HDPE INV IN = 779.41	P-300, 15" HDPE INV OUT = 779.31	NCDOT STD #840.02
CB-301	RIM = 784.02 15" INV IN = 784.02 (FROM CB-300) 15" INV OUT = 784.02 (TO CB-300)	P-302, 15" HDPE INV IN = 781.71	P-301, 15" HDPE INV OUT = 781.61	NCDOT STD #840.02
CB-302	RIM = 784.47 15" INV IN = 784.47 (FROM CB-300) 15" INV OUT = 784.47 (TO CB-301)	P-303, 15" HDPE INV IN = 784.09	P-302, 15" HDPE INV OUT = 783.99	NCDOT STD #840.02
CB-400	RIM = 789.03 15" INV IN = 789.03 (FROM CB-105)	P-400, 15" HDPE INV OUT = 783.55	P-400, 15" HDPE INV OUT = 783.55	NCDOT STD #840.02
CB-500	RIM = 790.79 15" INV IN = 786.23 (FROM CB-500) 15" INV OUT = 786.23 (TO CB-500)	P-501, 15" HDPE INV IN = 786.23	P-500, 15" HDPE INV OUT = 784.02	NCDOT STD #840.02
CB-701	RIM = 790.85 15" INV IN = 790.85 (FROM CB-702) 15" INV OUT = 790.85 (TO CB-701)	P-701, 15" HDPE INV IN = 790.85	P-701, 15" HDPE INV OUT = 790.75	NCDOT STD #840.02
CB-702	RIM = 794.01 15" INV OUT = 794.01 (TO CB-701)	P-702, 15" HDPE INV OUT = 791.03	P-702, 15" HDPE INV OUT = 791.03	NCDOT STD #840.02
CB-801	RIM = 789.78 15" INV IN = 788.81 (FROM CB-802) 15" INV OUT = 788.81 (TO FES-800)	P-802, 15" HDPE INV IN = 786.81 P-900, 15" HDPE INV IN = 786.81	P-801, 15" HDPE INV OUT = 786.71	NCDOT STD #840.02
CB-802	RIM = 792.14 15" INV OUT = 787.06 (TO CB-801)	P-802, 15" HDPE INV OUT = 787.85	P-802, 15" HDPE INV OUT = 787.85	NCDOT STD #840.02
CB-900	RIM = 789.00 15" INV OUT = 787.00 (TO CB-801)	P-900, 15" HDPE INV OUT = 787.06	P-900, 15" HDPE INV OUT = 787.06	NCDOT STD #840.02
DI-108	RIM = 784.42 12" INV IN = 784.42 (FROM DI-108) 12" INV OUT = 784.42 (TO CB-107)	P-108, 12" HDPE INV IN = 788.42	P-108, 12" HDPE INV OUT = 787.78	NCDOT STD #840.14
DI-109	RIM = 784.37 12" INV IN = 789.39 (FROM DI-109) 12" INV OUT = 789.39 (TO DI-108)	P-110, 12" HDPE INV IN = 789.39	P-109, 12" HDPE INV OUT = 789.29	NCDOT STD #840.14
DI-110	RIM = 784.37 12" INV IN = 789.39 (FROM DI-110) 12" INV OUT = 789.39 (TO DI-109)	P-111, 12" HDPE INV IN = 789.99	P-110, 12" HDPE INV OUT = 789.89	NCDOT STD #840.14
DI-111	RIM = 784.37 12" INV IN = 784.37 (FROM DI-111) 12" INV OUT = 784.37 (TO CB-106)	P-112, 12" HDPE INV IN = 790.59	P-111, 12" HDPE INV OUT = 790.49	NCDOT STD #840.14
DI-112	RIM = 784.37 12" INV OUT = 787.09 (TO DI-111)	P-112, 12" HDPE INV OUT = 791.00	P-112, 12" HDPE INV OUT = 791.00	NCDOT STD #840.14
EX-MH-1	RIM = 774.34 30" INV IN = 774.34 (FROM YI-100)	EX-P-100, 30" EX. RCP INV IN = 774.63	EXISTING MANHOLE	
FES-700	RIM = 791.94 15" INV IN = 790.50 (FROM CB-701)	P-701, 15" HDPE INV IN = 790.50	SEE FLARED END SECTION DETAIL	
FES-800	RIM = 787.44 15" INV IN = 786.00 (FROM CB-801)	P-801, 15" HDPE INV IN = 786.00	SEE FLARED END SECTION DETAIL	
MH-200	RIM = 787.45 15" INV IN = 782.32 (FROM CB-201) 15" INV OUT = 782.32 (TO YI-100)	P-201, 15" HDPE INV IN = 782.32	P-200, 15" HDPE INV OUT = 781.32	NCDOT STD #840.52
OCS-303	RIM = 787.50 15" INV OUT = 784.25 (TO CB-302)	P-303, 15" HDPE INV OUT = 784.25	SEE RISER DETAIL	
OCS-501	RIM = 792.50 15" INV OUT = 789.25 (TO CB-500)	P-501, 15" HDPE INV OUT = 789.25	SEE RISER DETAIL	
OCS-600	RIM = 792.00 15" INV OUT = 785.75 (TO CB-106)	P-600, 15" HDPE INV OUT = 788.75	SEE RISER DETAIL	
YI-100	RIM = 783.93 30" INV IN = 783.93 (FROM CB-101) 30" INV OUT = 783.93 (TO EX-MH-1)	P-101, 30" HDPE INV IN = 775.80 P-200, 15" HDPE INV IN = 780.80	EX-P-100, 30" EX. RCP INV OUT = 775.70	NCDOT STD #840.04
YI-103	RIM = 781.94 18" INV IN = 778.92 (FROM CB-303) 24" INV IN = 772.23 (FROM CB-105) 30" INV OUT = 775.15 (TO CB-102)	P-303, 18" HDPE INV IN = 778.92 P-105, 24" HDPE INV IN = 777.23	P-103, 30" HDPE INV OUT = 777.13	NCDOT STD #840.04

STORM PIPE TABLE						
PIPE NAME	FROM	TO	SIZE	LENGTH	SLOPE	MATERIAL
P-302	CB-301	CB-301	15"	114'	2.00%	HDPE
P-303	OCS-303	CB-302	15"	8'	2.00%	HDPE
P-802	CB-802	CB-801	15"	104'	1.00%	HDPE
P-107	CB-107	CB-106	18"	30'	3.00%	HDPE
P-108	DI-108	CB-107	15"	83'	5.50%	HDPE
P-400	OCS-600	CB-109	15"	83'	5.50%	HDPE
P-200	MH-200	YI-100	15"	53'	3.00%	HDPE
P-201	CB-201	MH-200	15"	125'	0.86%	EX. RCP
P-702	CB-702	CB-701	15"	18'	1.00%	HDPE
P-501	OCS-501	CB-500	15"	76'	4.00%	HDPE
P-801	CB-801	FES-800	15"	71'	1.00%	HDPE
P-900	CB-900	CB-801	15"	29'	1.00%	HDPE
P-102	CB-102	CB-101	30"	41'	1.00%	CLASS V RCP
P-701	CB-701	FES-700	15"	22'	1.13%	HDPE
P-106	CB-106	CB-105	18"	88'	3.00%	HDPE
P-105	CB-105	YI-103	24"	80'	3.00%	HDPE
P-300	CB-300	YI-103	18"	39'	1.00%	HDPE
P-103	CB-103	30"	25'	1.00%	HDPE	
P-101	CB-101	30"	47'	1.00%	HDPE	
P-301	CB-301	CB-300	15"	117'	1.88%	HDPE
P-400	CB-400	CB-305	15"	117'	2.00%	HDPE
P-500	CB-500	CB-105	15"	107'	2.00%	HD









