



To: Board of County Commissioners

From: Joshua Grant

Date: April 10, 2025

Re: WSSUP #41  
Blum, Inc., applicant  
Parcel ID# 02372, 31610, 29857

*The following information is for use by the Lincoln County Board of Commissioners at their meeting/public hearing on June 2, 2025.*

### Request

The applicant is requesting a special use permit to exceed 36% impervious surface area (or 24% with curb and gutter) for a project in the WS-IV Protected Area of the Catawba/Mountain Island Lake water supply watershed as a special nonresidential intensity allocation under the 10/70 option.

The applicant is proposing to develop a portion of a 39.1 acre site for addition/expansion to an existing industrial operation / existing business at this location.

Under the 10/70 option, 10 percent of the acreage in a watershed district may be developed with new nonresidential projects having up to 70% impervious surface area. Approval is on a project-by-project basis, subject to the issuance of a special use permit by the Board of Commissioners. One of the findings of fact that must be made in approving a permit for a special nonresidential intensity allocation is that the project will substantially increase the county's tax base or otherwise significantly promote or expand economic development and/or job opportunities, or serve a community purpose such as a place of worship, school, or other community facility.

The WS-IV Protected Area of the Catawba/Mountain Island Lake watershed covers 5,157 acres. To date, a total of 12.08 acres has been allocated under the 10/70 option. If this request is approved, 503.62 acres would be available for future allocation.



### Site Area and Description

The request involves a 39.1-acre parcel located at 7733 Old Plank Road, Stanley, NC 28164 in Catawba Springs Township. The subject property is located in the PD-I (Planned Development – Industrial) zoning district and the ELDD (Eastern Lincoln Development District) overlay. The subject property is adjoined by property zoned B-N (Neighborhood Business), B-G (General Business), I-G (Industrial General), and R-T (Transitional Residential). Land uses in this area include industrial, business, and residential uses. This property is located within an area that is designated by the Lincoln County Land Use Plan as Industrial Center, suitable for a variety of manufacturing, warehousing, and distribution uses.



## **Watershed Conditional Use Permit**

### **Application**

Lincoln County Planning and Inspections Department  
Zoning Administrator  
302 N. Academy St., Suite A, Lincolnton, NC 28092

### **PART I**

Applicant Name Blum Inc

Applicant Address 7733 Old Plank Rd Stanley, NC 28164

Applicant Phone Number 704.827.1345

Property Owner Name JULIUS BLUM INC

Property Owner Address 7733 Old Plank Rd Stanley, NC 28164

Property Owner Phone Number 704.827.1345

### **PART II**

Property Location 7733 Old Plank Rd Stanley, NC 28164

Property ID (10 digits) 4601031941, 4601025959, 4601027848 Property size 39.1 ac

Parcel # (5 digits)	<u>02372, 31610, 29857</u>	Deed Book(s)	<u>553</u>	Page(s)	<u>801</u>
			<u>1094</u>		<u>851</u>
			<u>1094</u>		<u>853</u>

### **PART III**

Watershed District WS-IVP

Briefly describe how the property is being used and any existing structures.

Existing industrial site with associated parking, drives, truck docks

Briefly describe the proposed project and the why it would require a Watershed Conditional Use Permit.

Expansion of the existing facility with a new 40,000 SF Building addition (BE13) consisting of a new office space and show room. In addition, renovation of an existing 40,000 SF of the building and reconfiguring the site parking and truck access.

**\$1,000.00 APPLICATION FEE MUST BE RECEIVED BEFORE PROCESSING.**

I hereby certify that all knowledge of the information provided for this application and attachments is true and correct to the best of my knowledge.

Applicant's Signature

Date

3/19/2025

Application # \_\_\_\_\_ Date \_\_\_\_\_

Applicant's Name \_\_\_\_\_

Applicant's Address \_\_\_\_\_

Property Location \_\_\_\_\_ Existing Zoning \_\_\_\_\_

Proposed Special Use \_\_\_\_\_

### **PROPOSED FINDINGS OF FACT**

1. The use will not materially endanger the public health or safety if located where proposed and developed according to plan. YES \_\_\_\_\_ NO \_\_\_\_\_

FACTUAL REASONS CITED: The use is existing on the property and proposed improvements will result in a net benefit to the stormwater treatment quantity and quality leaving the property. As well is improving vehicular movements on-site with a separate driveway for trucks.

2. The use meets all required conditions and specifications. YES \_\_\_\_\_ NO \_\_\_\_\_

FACTUAL REASONS CITED: The existing and proposed use complies with all conditions and specifications set forth. The applicant is meeting and exceeding stormwater standards for the site.

3. The use will not substantially injure the value of adjoining or abutting property unless the use is a public necessity. YES \_\_\_\_\_ NO \_\_\_\_\_

FACTUAL REASONS CITED: As the use is existing the proposed improvements and expansion are not anticipated to have substantial impacts to values of adjoining properties. Part of the goal of the proposed project is to increase landscaping and screening to the adjoining property while increasing functionality on-site. The improvements will also result in a net reduction in stormwater peak runoff to adjoining private property.

4. The location and character of use, if developed according to the plan as submitted and approved, will be in harmony with the area in which it is to be located and will be in general conformity with the Land Use Plan for the area in question. YES \_\_\_\_\_ NO \_\_\_\_\_

FACTUAL REASONS CITED: The use and function of the site is existing and is in-line with the County's Comprehensive Plan which is anticipating Industrial Center (IC) in this area.

5. The proposed development will substantially increase the ad valorem tax base of Lincoln County or otherwise significantly promote or expand economic development and/or job opportunities available to Lincoln County residents, or serve a community purpose such as a place of worship, school, or other community facility. YES \_\_\_\_\_ NO \_\_\_\_\_

FACTUAL REASONS CITED: The proposed development will increase the tax base for Lincoln county as the proposed building is to be expanded and existing facilities renovated. This will result in the ability to increase jobs at the facility across the work spectrum.



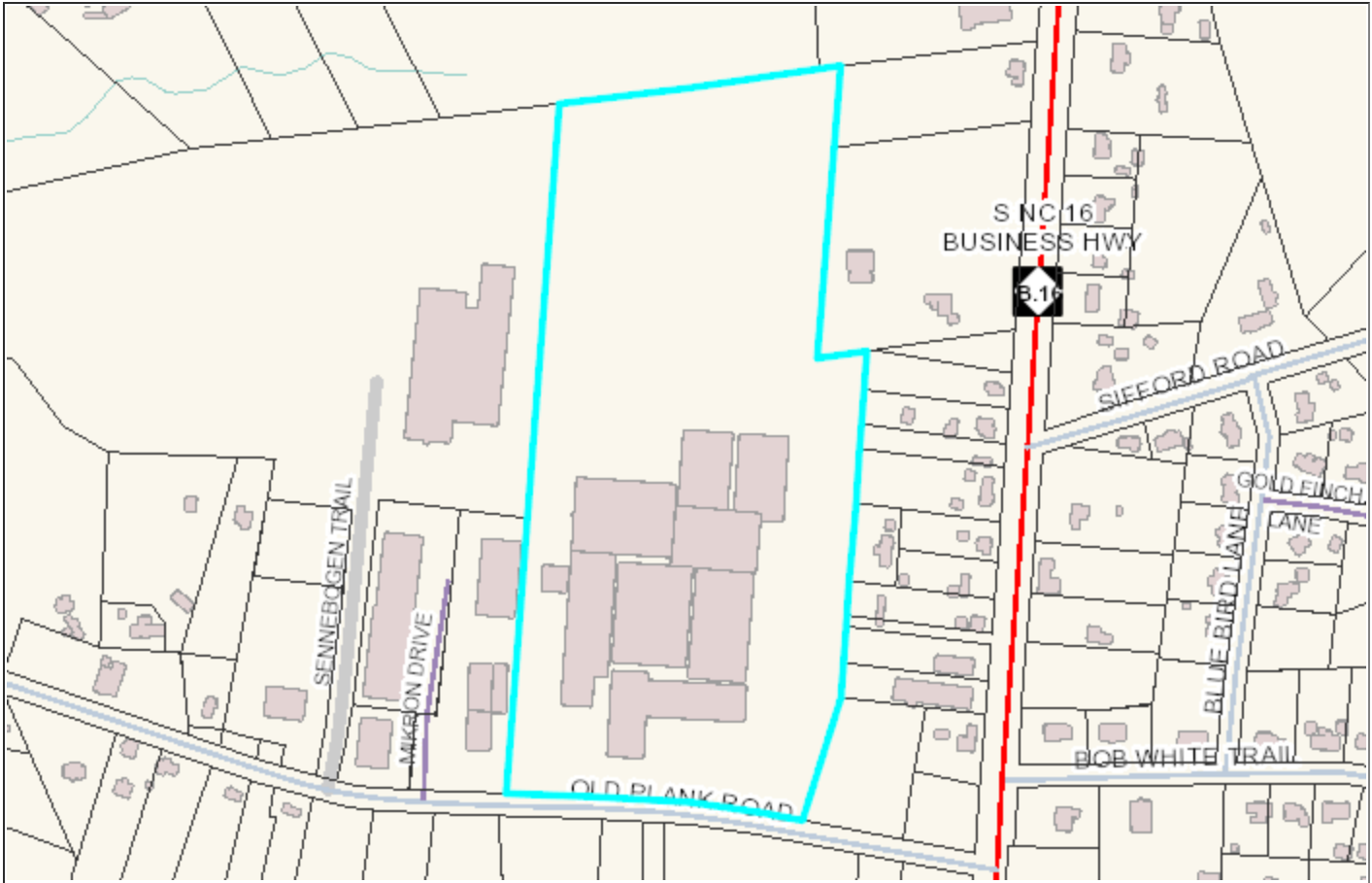
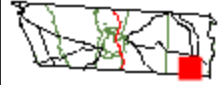


## Lincoln County, NC

## Office of the Tax Administrator, GIS Mapping Division

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Date: 4/11/2025 Scale: 1 Inch = 500 Feet



02372

<b>Parcel ID</b>	02372	<b>Owner</b>	JULIUS BLUM INC
<b>Map</b>	4601	<b>Mailing</b>	BLUM INDUSTRIAL PRK-LOWESVILLE 7733 OLD PLANK RD
<b>Account</b>	25296	<b>Address</b>	STANLEY, NC 28164-7774
<b>Deed</b>	553 801	<b>Last Transaction Date</b>	01/01/1992
<b>Plat</b>		<b>Subdivision</b>	
<b>Land Value</b>	\$1,126,121	<b>Improvement Value</b>	\$28,784,361
<b>Previous Parcel</b>		<b>Total Value</b>	\$29,910,482

## -----All values for Tax Year 2025 -----

<b>Description</b>	BLDG RD 16	<b>Deed Acres</b>	36.43
<b>Address</b>	7733 OLD PLANK RD	<b>Tax Acres</b>	36.306
<b>Township</b>	CATAWBA SPRINGS	<b>Tax/Fire District</b>	EAST LINCOLN
<b>Main Improvement</b>	BLUM SECTION 1	<b>Value</b>	\$2,106,155
<b>Main Sq Feet</b>	44424	<b>Stories</b>	1
		<b>Year Built</b>	1991

<b>Zoning District</b>	<b>Conditional Use</b>	<b>Calc Acres</b>	<b>Voting Precinct</b>	<b>Calc Acres</b>
PD-I		36.31	LW31	36.31

<b>Watershed</b>	<b>Sewer District</b>
0.48	
35.83	36.31

<b>Census County</b>	<b>Tract</b>	<b>Block</b>
109	071102	1070
		36.31

<b>Flood</b>	<b>Zone Description</b>	<b>Panel</b>
X	NO FLOOD HAZARD	3710369100
		14.94



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Date: 4/11/2025      Scale: 1 Inch = 200 Feet

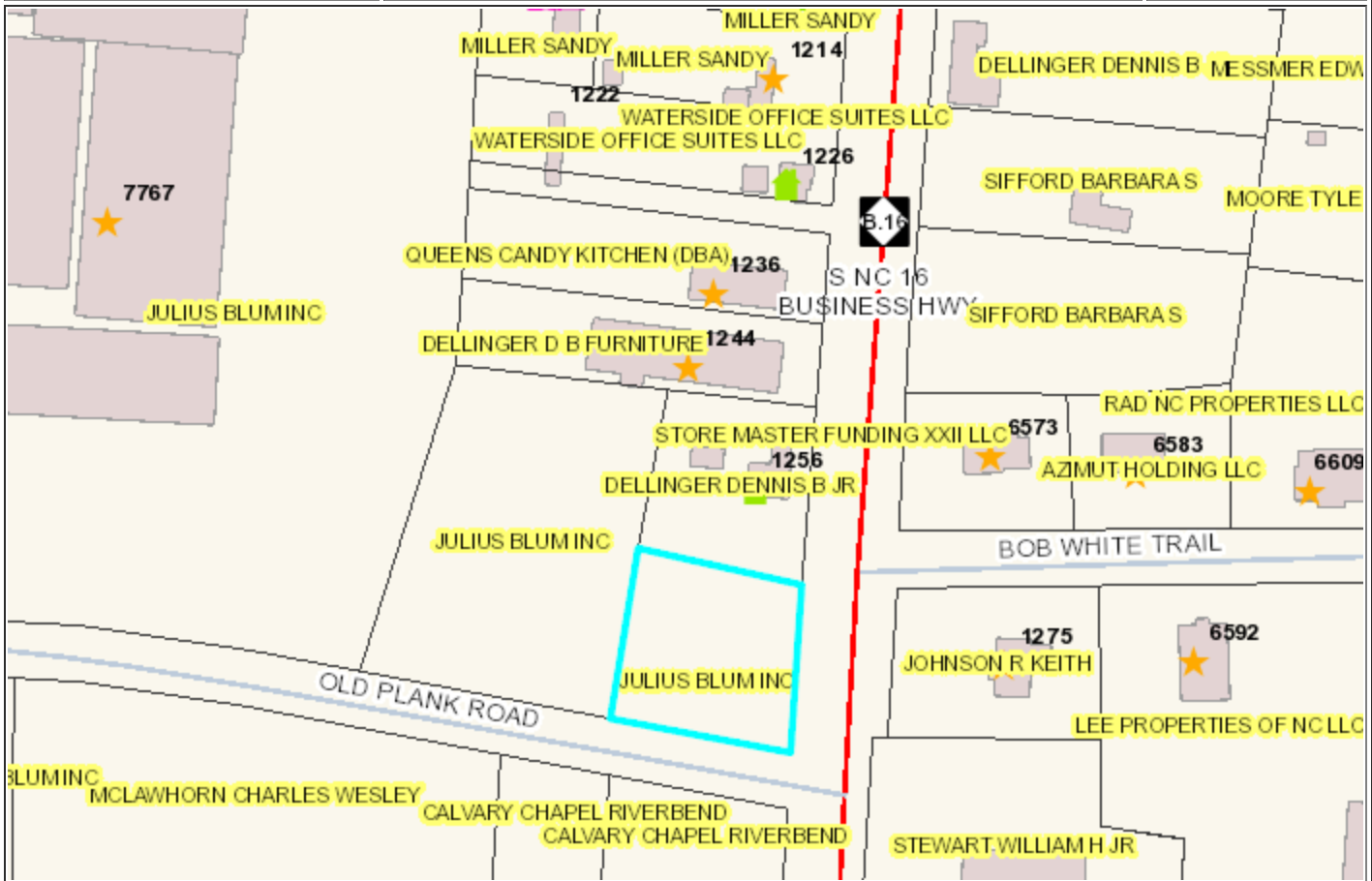


Photo Not Available

<b>Parcel ID</b>	29857	<b>Owner</b>	JULIUS BLUM INC		
<b>Map</b>	4601	<b>Mailing</b>	BLUM INDUSTRIAL PRK-LOWESVILLE 7733 OLD PLANK RD		
<b>Account</b>	25296	<b>Address</b>	STANLEY, NC 28164-7774		
<b>Deed</b>	1094 853	<b>Last Transaction Date</b>	02/05/1999	<b>Sale Price</b>	\$0
<b>Plat</b>		<b>Subdivision</b>	LOWESVILLE NO 1	<b>Lot</b>	
<b>Land Value</b>	\$61,225	<b>Improvement Value</b>	\$0	<b>Total Value</b>	\$61,225
<b>Previous Parcel</b>					

-----All values for Tax Year 2025 -----

<b>Description</b>	HMSTE - HWY 16 R1511	<b>Deed Acres</b>	1.15
<b>Address</b>	OLD PLANK RD	<b>Tax Acres</b>	0.79
<b>Township</b>	CATAWBA SPRINGS	<b>Tax/Fire District</b>	EAST LINCOLN
<b>Main Improvement</b>		<b>Value</b>	
<b>Main Sq Feet</b>	<b>Stories</b>	<b>Year Built</b>	

Zoning District	Conditional Use	Calc Acres	Voting Precinct	Calc Acres
PD-I		0.79	LW31	0.79

Watershed	Sewer District
0.79	0.79

Census County	Tract	Block	
109	071102	1070	0.79

Flood	Zone Description	Panel	
X	NO FLOOD HAZARD	3710460100	0.79



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Date: 4/11/2025      Scale: 1 Inch = 200 Feet

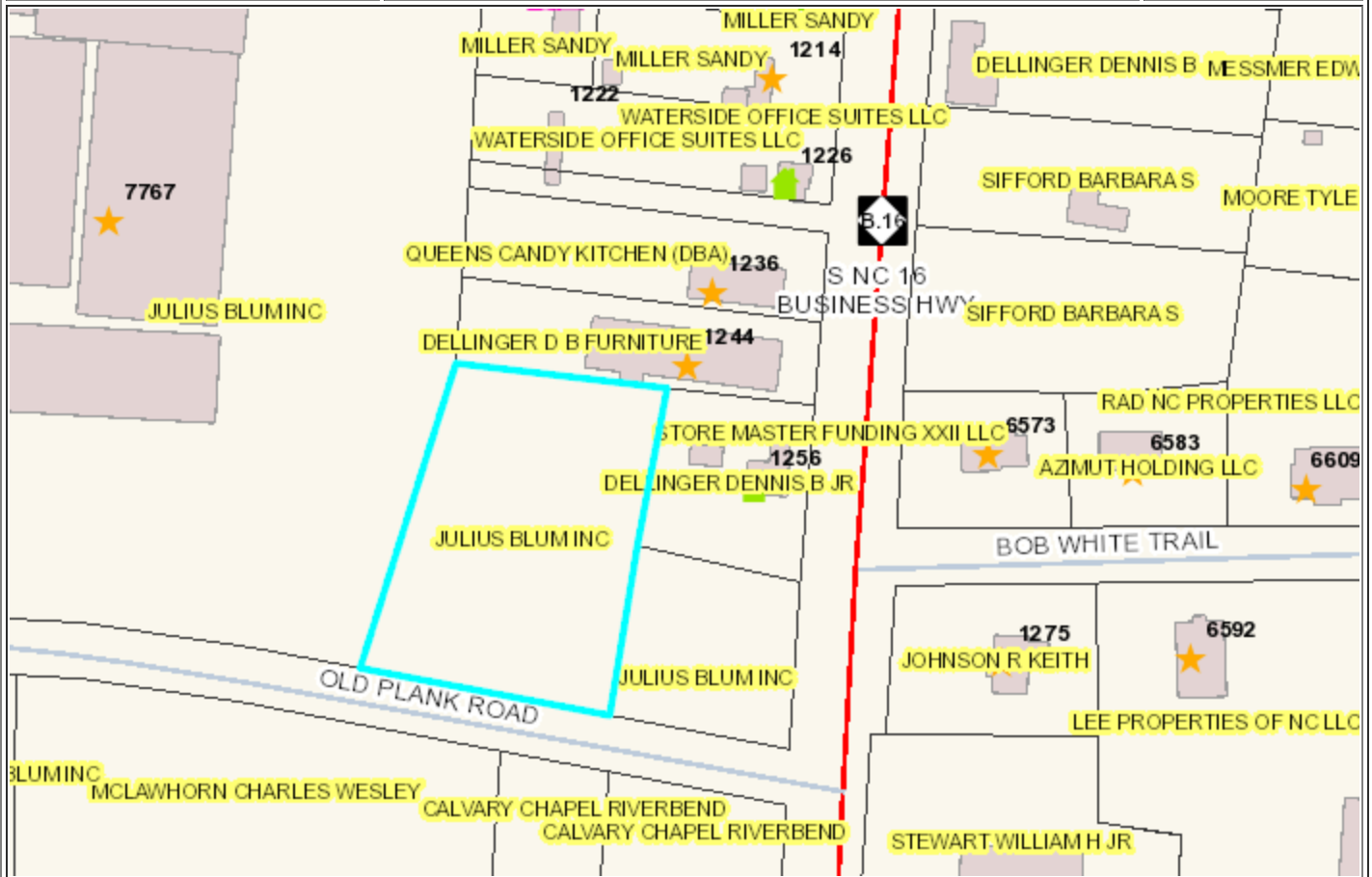
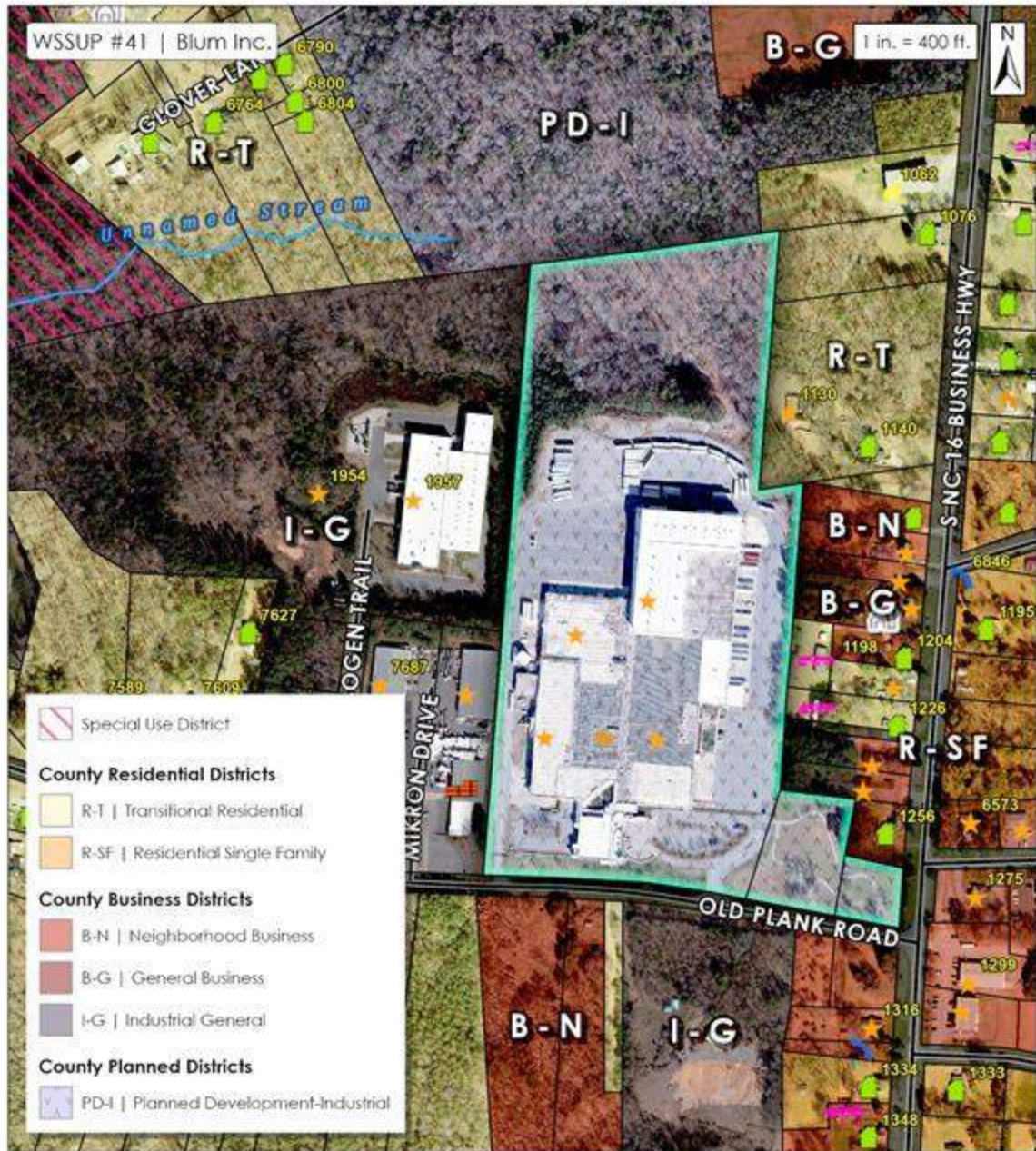


Photo Not Available

<b>Parcel ID</b>	31610	<b>Owner</b>	JULIUS BLUM INC		
<b>Map</b>	4601	<b>Mailing</b>	BLUM INDUSTRIAL PRK-LOWESVILLE 7733 OLD PLANK RD		
<b>Account</b>	25296	<b>Address</b>	STANLEY, NC 28164-7774		
<b>Deed</b>	1094 851	<b>Last Transaction Date</b>	02/05/1999	<b>Sale Price</b>	\$0
<b>Plat</b>		<b>Subdivision</b>	LOWESVILLE NO 1 Lot		
<b>Land Value</b>	\$124,992	<b>Improvement Value</b>	\$0	<b>Total Value</b>	\$124,992
<b>Previous Parcel</b>					
-----All values for Tax Year 2025 -----					
<b>Description</b>	KEEVER LD RD 1511			<b>Deed Acres</b>	2
<b>Address</b>	OLD PLANK RD			<b>Tax Acres</b>	2.016
<b>Township</b>	CATAWBA SPRINGS			<b>Tax/Fire District</b>	EAST LINCOLN
<b>Main Improvement</b>				<b>Value</b>	
<b>Main Sq Feet</b>	<b>Stories</b>			<b>Year Built</b>	
<b>Zoning District</b>	<b>Conditional Use</b>	<b>Calc Acres</b>	<b>Voting Precinct</b>	<b>Calc Acres</b>	
PD-I		2.02	LW31	2.02	
<b>Watershed</b>	<b>Sewer District</b>				
1.19	2.02				
0.82					
<b>Census County</b>	<b>Tract</b>		<b>Block</b>		
109	071102		1070	2.02	
<b>Flood</b>	<b>Zone Description</b>			<b>Panel</b>	
X	NO FLOOD HAZARD			3710460100	2.02





Parcel ID # 02372, 29857,  
& 31610

- Property Location(s)

See Attached Application for Parcel Information



Lincoln County  
Planning & Inspections  
115 W. Main St  
3rd Floor  
Lincolnton, NC 28092





GLOVER LANE

Unnamed Stream

IC

SFN

IC

IC

IC

SENNEBOGEN TRAIL

MIKRON DRIVE

IC

S NC-16 BUSINESS HWY

SC

OLD PLANK ROAD

SC

LLR

SFN

## Land Use Plan

- Industrial Center (IC)
- Large Lot Residential (LLR)
- Suburban Commercial (SC)
- Single-Family Neighborhood (SFN)

Parcel ID # 02372, 29857,  
& 31610 - Property Location(s)

See Attached Application for Parcel Information

LOCATION MAP



1:1,000,000

 Property Location(s)

Lincoln County  
Planning & Inspections  
115 W. Main St  
3rd Floor  
Lincolnton, NC 28092



# BLUM BUILDING EXPANSION - BE13

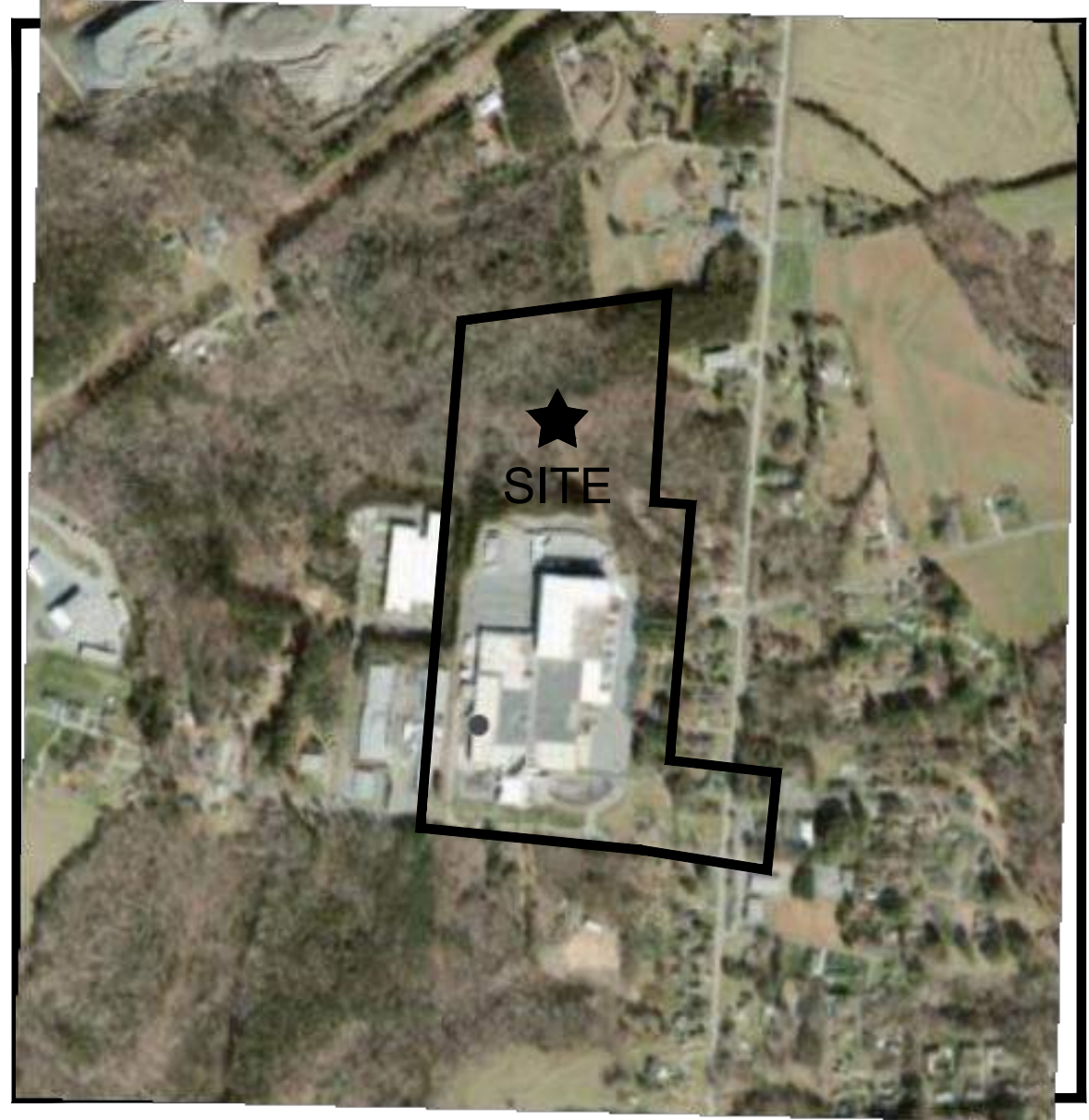
## PRELIMINARY SET

TAX PARCEL ID 02372, 31610 AND 29857  
7733 OLD PLANK ROAD, STANLEY  
LINCOLN COUNTY, NC 28164

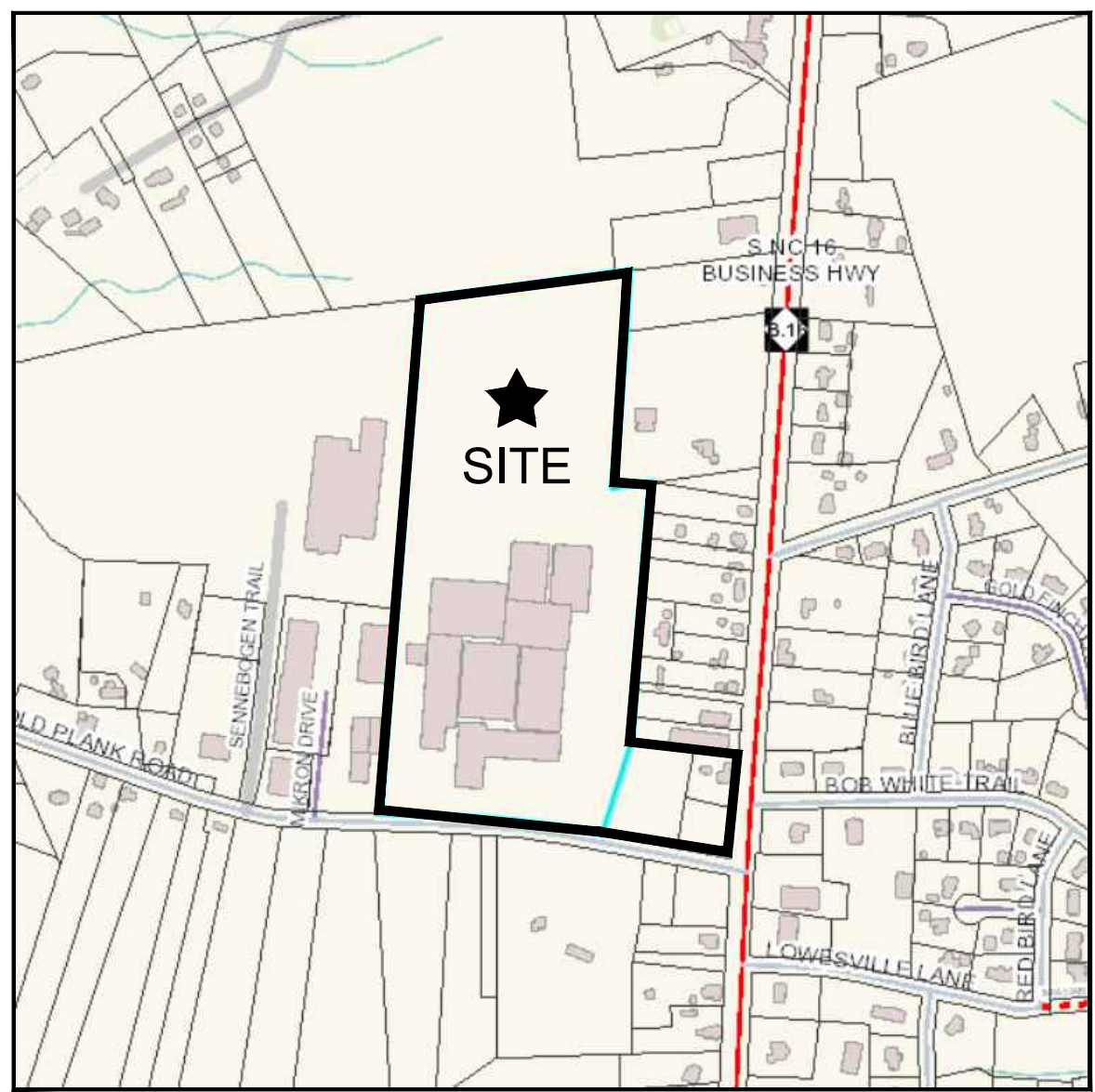
SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C2.0	OVERALL SITE PLAN
C2.2	DRIVEWAY PLAN AND PROFILE
C4.0	GRADING PLAN
C4.1	DETAILED GRADING PLAN - MAIN ENTRANCE
C4.2	STORM DRAINAGE PLAN
C5.0	UTILITY PLAN



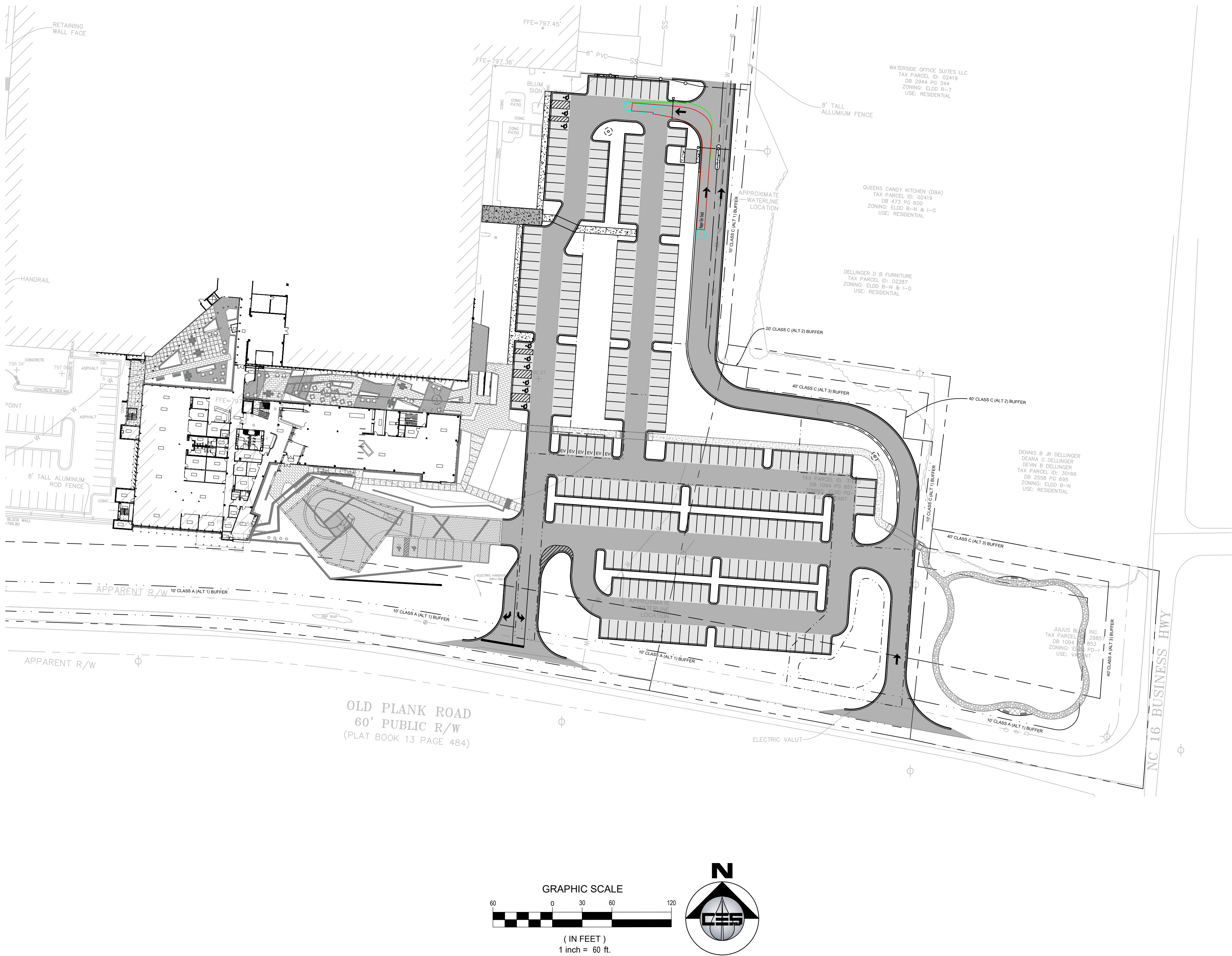
VICINITY MAP  
NOT TO SCALE



AERIAL VIEW OF SITE  
NOT TO SCALE



CITY GIS / ZONING MAP  
NOT TO SCALE



**OWNER / DEVELOPER**  
BLUM  
(ATTN: SPENCER DAVIS)  
7733 OLD PLANK ROAD  
STANLEY, NC 28164  
PHONE: 704.827.1345

**LANDSCAPE ARCHITECT**  
SEAMON WHITESIDE  
230 E PETERSON DR, SUITE B  
CHARLOTTE, NC 28217  
PHONE: 980.312.5450

**CIVIL ENGINEER**  
CES GROUP ENGINEERS, LLP  
FIRM LICENSE # F-1240  
3525 WHITEHALL PARK DR, SUITE 150  
CHARLOTTE, NC 28273  
PH: 704.489.1500

**ARCHITECT**  
MCMILLAN PAZDAN SMITH ARCHITECTURE  
1422 S TRYON ST SUITE 700  
CHARLOTTE, NC 28203  
PHONE: 980.201.3035

**LAND SURVEYOR**  
CES GROUP ENGINEERS, LLP  
3525 WHITEHALL PARK DR, SUITE 150  
CHARLOTTE, NC 28273  
PH: 704.489.1500

**PLAN REFERENCES**

THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:

- TOPOGRAPHICAL SURVEY BY CES GROUP ENGINEERS, LLP DATED 11/18/2024.
- AERIAL MAP RETRIEVED FROM NC ONE MAP DATED 11/11/2024
- ARCHITECTURAL PLANS BY MCMILLAN PAZDAN SMITH ARCHITECTURE DATED 10/01/2024
- HARDSCAPE PLANS BY SEAMON WHITESIDE DATED 12/4/2024

ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

1422 south tryon street, suite 700  
charlotte, nc 28203

CONSULTANT LOGO

ENGINEERS PLANNERS SURVEYORS SCIENTISTS

SEALS

BLUM EXPANSION - BE13

BLUM US, 7733 OLD PLANK RD, STANLEY, NC 28164

SHEET ISSUE:	NO.	DATE	DESCRIPTION	BY
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DRAWN BY: SC  
REVISED BY:  
CHECKED BY: JM

SHEET TITLE:  
**COVER SHEET**

SHEET NO.  
**C0.0**

CES PROJ. NO.  
8522.1024



3.95'

D

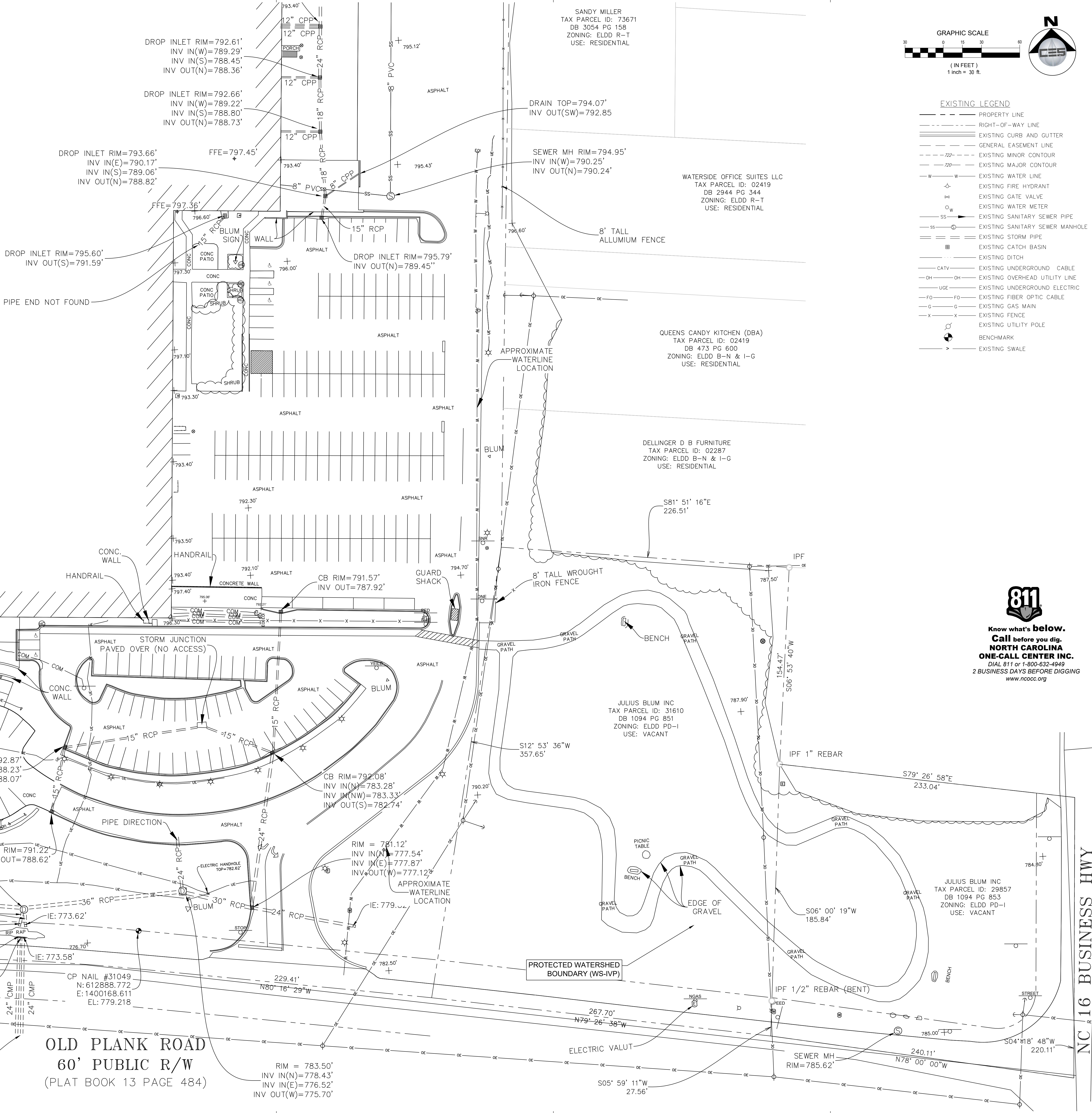
C

B

A

S:\ENGINEERING\PROJECTS\2022\10\OLD - BLUM RE-DEVELOPMENT\SSS\EXISTING CONDITIONS.DWG, Mwhp 21, 2025 MCE/AMAT

ALL DRAWINGS, SPECIFICATIONS AND NOTES HEREBY GRANTED BY MCMILLAN PAZDAN SMITH ARCHITECTURE ARE AND SHALL REMAIN THE PROPERTY OF MCMILLAN PAZDAN SMITH ARCHITECTURE. THESE MATERIALS ARE TO BE USED ONLY WITHIN THE PROJECT AND NOT TO BE USED WITH ANY OTHER PROJECT. WITH THE EXCEPTION OF ONE CONTRACT SET FOR EACH PARTY TO THE CONTRACT, SUCH DOCUMENTS ARE TO BE RETURNED TO MCMILLAN PAZDAN SMITH ARCHITECTURE UPON COMPLETION OF THE PROJECT. PERMISSION IS GRANTED TO MAKE COPIES OF THIS DRAWING FOR THE PROJECT, BUT NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MCMILLAN PAZDAN SMITH ARCHITECTURE. ALL RIGHTS RESERVED.



GRAPHIC SCALE  
(IN FEET)  
1 inch = 30 ft.

EXISTING LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EXISTING CURB AND GUTTER
- GENERAL EASEMENT LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING GATE VALVE
- EXISTING WATER METER
- EXISTING SANITARY SEWER PIPE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM PIPE
- EXISTING CATCH BASIN
- EXISTING DITCH
- EXISTING UNDERGROUND CABLE
- EXISTING OVERHEAD UTILITY LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING FIBER OPTIC CABLE
- EXISTING GAS MAIN
- EXISTING FENCE
- EXISTING UTILITY POLE
- BENCHMARK
- EXISTING SWALE

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**mcmillan pazdan smith**  
ARCHITECTURE

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charlotte, nc 28203

CONSULTANT LOGO

**CES GROUP**  
ENGINEERS PLANNERS SURVEYORS SCIENTISTS

SEALS  
NORTH CAROLINA  
Professional Engineer  
041342  
5-21-21  
SEAN M. COLDRUP

**blum**  
BLUM EXPANSION - BE13

BLUM US, 7735 OLD PLANK RD, STANLEY, NC 28164

SHEET ISSUE:  
NO. DATE DESCRIPTION BY

DRAWN BY: SC  
REVISED BY: JM  
CHECKED BY:

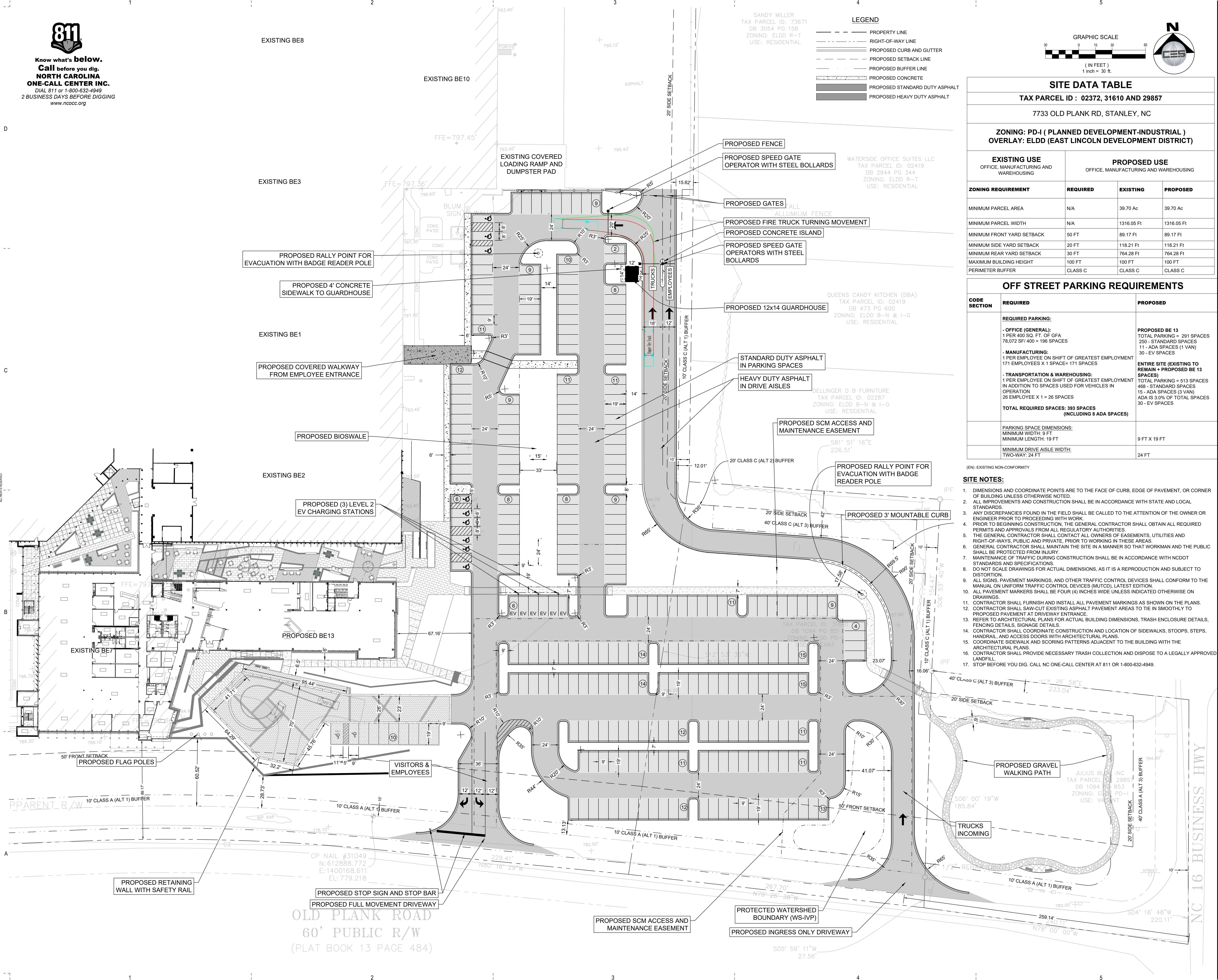
SHEET TITLE:  
**EXISTING CONDITIONS**

SHEET NO. C1.0  
JULIUS BLUM INC  
TAX PARCEL ID: 29857  
DB 1094 PG 853  
ZONING: ELDD PD-I  
USE: VACANT

NC 16 BUSINESS HWY

OLD PLANK ROAD  
60' PUBLIC R/W  
(PLAT BOOK 13 PAGE 484)





SITE DATA TABLE			
TAX PARCEL ID : 02372, 31610 AND 29857			
7733 OLD PLANK RD, STANLEY, NC			
ZONING: PD-1 ( PLANNED DEVELOPMENT-INDUSTRIAL ) OVERLAY: ELDD (EAST LINCOLN DEVELOPMENT DISTRICT)			
EXISTING USE OFFICE, MANUFACTURING AND WAREHOUSING	PROPOSED USE OFFICE, MANUFACTURING AND WAREHOUSING		
ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM PARCEL AREA	N/A	39.70 Ac	39.70 Ac
MINIMUM PARCEL WIDTH	N/A	1316.05 Ft	1316.05 Ft
MINIMUM FRONT YARD SETBACK	50 FT	89.17 Ft	89.17 Ft
MINIMUM SIDE YARD SETBACK	20 FT	118.21 Ft	118.21 Ft
MINIMUM REAR YARD SETBACK	30 FT	764.28 Ft	764.28 Ft
MAXIMUM BUILDING HEIGHT	100 FT	100 FT	100 FT
PERIMETER BUFFER	CLASS C	CLASS C	CLASS C

OFF STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
	<b>REQUIRED PARKING:</b>  - OFFICE (GENERAL): 1 PER 400 SQ. FT. OF GFA 78,072 SF/ 400 = 196 SPACES  - MANUFACTURING: 1 PER EMPLOYEE ON SHIFT OF GREATEST EMPLOYMENT 171 EMPLOYEES X 1 SPACE = 171 SPACES  - TRANSPORTATION & WAREHOUSING: 1 PER EMPLOYEE ON SHIFT OF GREATEST EMPLOYMENT IN ADDITION TO SPACES USED FOR VEHICLES IN OPERATION 26 EMPLOYEE X 1 = 26 SPACES  <b>TOTAL REQUIRED SPACES: 393 SPACES (INCLUDING 3 ADA SPACES)</b>  PARKING SPACE DIMENSIONS: MINIMUM WIDTH: 9 FT MINIMUM LENGTH: 19 FT  MINIMUM DRIVE AISLE WIDTH: TWO-WAY: 24 FT	<b>PROPOSED BE 13</b> TOTAL PARKING = 291 SPACES 250 - STANDARD SPACES 11 - ADA SPACES (1 VAN) 30 - EV SPACES  <b>ENTIRE SITE (EXISTING TO REMAIN + PROPOSED BE 13 SPACES)</b> TOTAL PARKING = 513 SPACES 468 - STANDARD SPACES 15 - ADA SPACES (3 VAN) ADA IS 3.0% OF TOTAL SPACES 30 - EV SPACES

- (EN) - EXISTING NON-CONFORMITY
- SITE NOTES:**
- DIMENSIONS AND COORDINATE POINTS ARE TO THE FACE OF CURB, EDGE OF PAVEMENT, OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
  - ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
  - ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
  - PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM ALL REGULATORY AUTHORITIES.
  - THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
  - GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMAN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY.
  - MAINTENANCE OF TRAFFIC DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH NCDOT STANDARDS AND SPECIFICATIONS.
  - DO NOT SCALE DRAWINGS FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
  - ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
  - ALL PAVEMENT MARKERS SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE ON DRAWINGS.
  - CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
  - CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO TIE IN SMOOTHLY TO PROPOSED PAVEMENT AT DRIVEWAY ENTRANCE.
  - REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS, TRASH ENCLOSURE DETAILS, FENCING DETAILS, SIGNAGE DETAILS.
  - CONTRACTOR SHALL COORDINATE CONSTRUCTION AND LOCATION OF SIDEWALKS, STOOPS, STEPS, HANDRAIL, AND ACCESS DOORS WITH ARCHITECTURAL PLANS.
  - COORDINATE SIDEWALK AND SCORING PATTERNS ADJACENT TO THE BUILDING WITH THE ARCHITECTURAL PLANS.
  - CONTRACTOR SHALL PROVIDE NECESSARY TRASH COLLECTION AND DISPOSE TO A LEGALLY APPROVED LANDFILL.
  - STOP BEFORE YOU DIG. CALL NC ONE-CALL CENTER AT 811 OR 1-800-632-4949.

SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY

DRAWN BY: SC  
REVISED BY: JM  
CHECKED BY:

SHEET TITLE:  
**OVERALL SITE PLAN**

SHEET NO.  
**C2.0**

CES PROJ. NO.  
8522.1024

**mcmillan pazdan smith**  
ARCHITECTURE

1422 south tryon street, suite 700  
charlotte, nc 28203

CONSULTANT LOGO

**CES**  
GROUP  
ENGINEERS PLANNERS SURVEYORS SCIENTISTS

SEALS

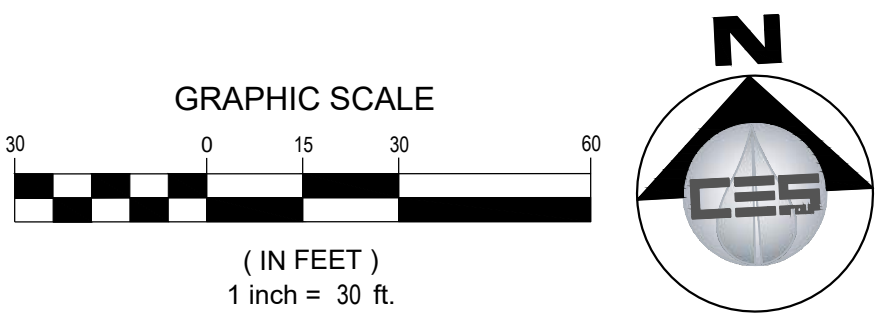
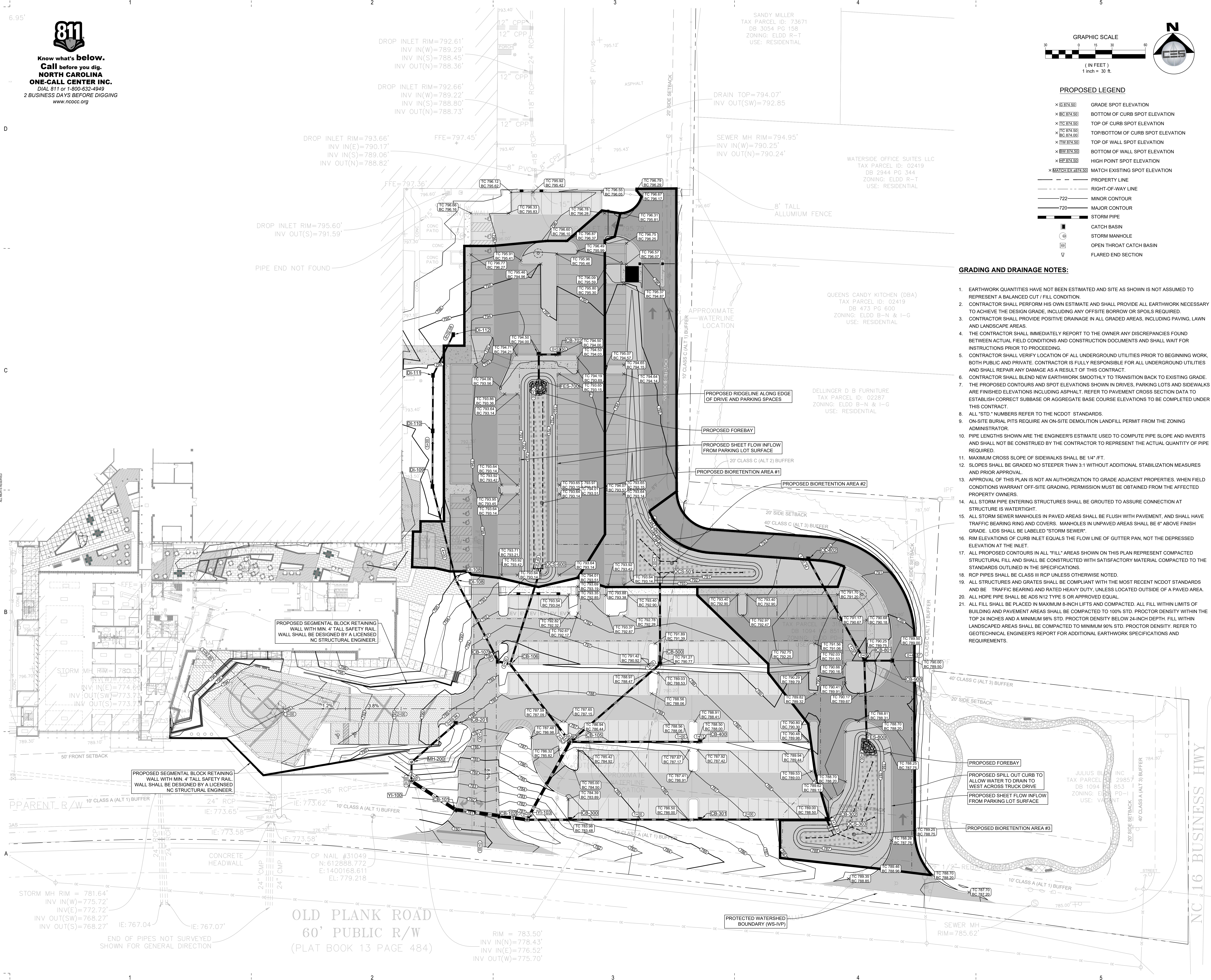
STATE OF NORTH CAROLINA  
REGISTERED PROFESSIONAL ENGINEER  
041542  
2-21-21  
SEAN M. COLANGELO

**blum**

**BLUM EXPANSION - BE13**

BLUM US, 7733 OLD PLANK RD, STANLEY, NC 28164





PROPOSED LEGEND	
× G 874.50	GRADE SPOT ELEVATION
× BC 874.50	BOTTOM OF CURB SPOT ELEVATION
× TC 874.50	TOP OF CURB SPOT ELEVATION
× TC 874.50 BC 874.00	TOP/BOTTOM OF CURB SPOT ELEVATION
× TW 874.50	TOP OF WALL SPOT ELEVATION
× BW 874.50	BOTTOM OF WALL SPOT ELEVATION
× HP 874.50	HIGH POINT SPOT ELEVATION
× MATCH EX 1874.50	MATCH EXISTING SPOT ELEVATION
---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	MINOR CONTOUR
---	MAJOR CONTOUR
---	STORM PIPE
■	CATCH BASIN
⊙	STORM MANHOLE
⊙	OPEN THROAT CATCH BASIN
▽	FLARED END SECTION

- GRADING AND DRAINAGE NOTES:**
- EARTHWORK QUANTITIES HAVE NOT BEEN ESTIMATED AND SITE AS SHOWN IS NOT ASSUMED TO REPRESENT A BALANCED CUT / FILL CONDITION.
  - CONTRACTOR SHALL PERFORM HIS OWN ESTIMATE AND SHALL PROVIDE ALL EARTHWORK NECESSARY TO ACHIEVE THE DESIGN GRADE, INCLUDING ANY OFFSITE BORROW OR SPOILS REQUIRED.
  - CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL GRADED AREAS, INCLUDING PAVING, LAWN AND LANDSCAPE AREAS.
  - THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTIONS PRIOR TO PROCEEDING.
  - CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. BOTH PUBLIC AND PRIVATE. CONTRACTOR IS FULLY RESPONSIBLE FOR ALL UNDERGROUND UTILITIES AND SHALL REPAIR ANY DAMAGE AS A RESULT OF THIS CONTRACT.
  - CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
  - THE PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN IN DRIVES, PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
  - ALL "STD." NUMBERS REFER TO THE NCDOT STANDARDS.
  - ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
  - PIPE LENGTHS SHOWN ARE THE ENGINEER'S ESTIMATE USED TO COMPUTE PIPE SLOPE AND INVERTS AND SHALL NOT BE CONSTRUED BY THE CONTRACTOR TO REPRESENT THE ACTUAL QUANTITY OF PIPE REQUIRED.
  - MAXIMUM CROSS SLOPE OF SIDEWALKS SHALL BE 1/4" /FT.
  - SLOPES SHALL BE GRADED NO STEEPER THAN 3:1 WITHOUT ADDITIONAL STABILIZATION MEASURES AND PRIOR APPROVAL.
  - APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
  - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
  - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
  - RIM ELEVATIONS OF CURB INLET EQUALS THE FLOW LINE OF GUTTER PAN, NOT THE DEPRESSED ELEVATION AT THE INLET.
  - ALL PROPOSED CONTOURS IN ALL "FILL" AREAS SHOWN ON THIS PLAN REPRESENT COMPACTED STRUCTURAL FILL AND SHALL BE CONSTRUCTED WITH SATISFACTORY MATERIAL COMPACTED TO THE STANDARDS OUTLINED IN THE SPECIFICATIONS.
  - RCP PIPES SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED.
  - ALL STRUCTURES AND GRATES SHALL BE COMPLIANT WITH THE MOST RECENT NCDOT STANDARDS AND BE TRAFFIC BEARING AND RATED HEAVY DUTY, UNLESS LOCATED OUTSIDE OF A PAVED AREA.
  - ALL HOPE PIPE SHALL BE ADS N12 TYPE S OR APPROVED EQUAL.
  - ALL FILL SHALL BE PLACED IN MAXIMUM 8-INCH LIFTS AND COMPACTED. ALL FILL WITHIN LIMITS OF BUILDING AND PAVEMENT AREAS SHALL BE COMPACTED TO 100% STD. PROCTOR DENSITY WITHIN THE TOP 24 INCHES AND A MINIMUM 98% STD. PROCTOR DENSITY BELOW 24-INCH DEPTH. FILL WITHIN LANDSCAPED AREAS SHALL BE COMPACTED TO MINIMUM 90% STD. PROCTOR DENSITY. REFER TO GEOTECHNICAL ENGINEER'S REPORT FOR ADDITIONAL EARTHWORK SPECIFICATIONS AND REQUIREMENTS.

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BLUM EXPANSION - BE13

BLUM US, 7735 OLD PLANK RD, STANLEY, NC 28164

SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY

DRAWN BY:	SC
REVISED BY:	
CHECKED BY:	JM

SHEET TITLE:

**GRADING PLAN**

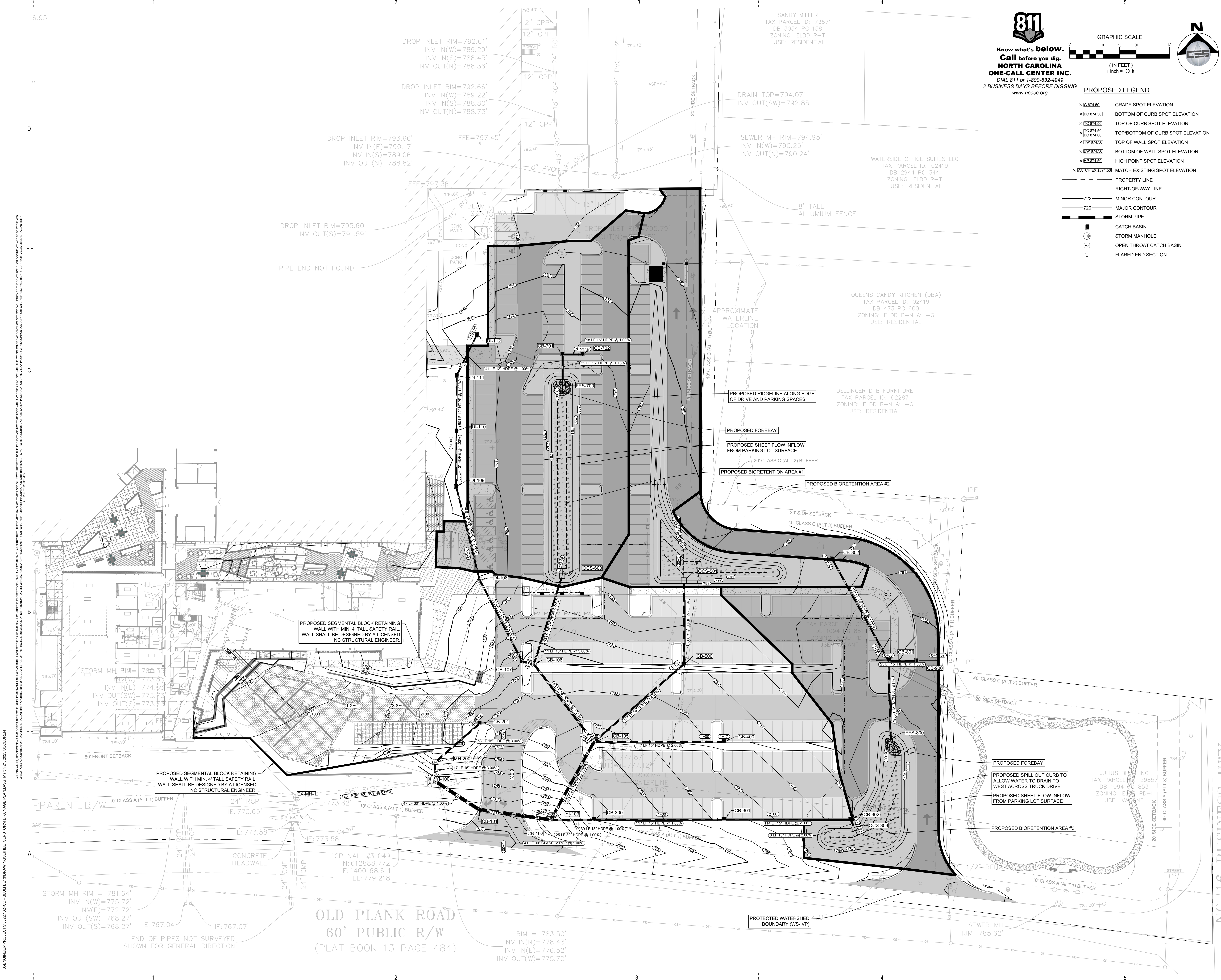
SHEET NO. C4.0

DESIGN PROJ. NO. 8522.1024









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GRAPHIC SCALE

(IN FEET)  
1 inch = 30 ft.

**PROPOSED LEGEND**

- × G 874.50 GRADE SPOT ELEVATION
- × BC 874.50 BOTTOM OF CURB SPOT ELEVATION
- × TC 874.50 TOP OF CURB SPOT ELEVATION
- × TC 874.50 TOP/BOTTOM OF CURB SPOT ELEVATION
- × TC 874.50 TOP OF WALL SPOT ELEVATION
- × TW 874.50 BOTTOM OF WALL SPOT ELEVATION
- × HP 874.50 HIGH POINT SPOT ELEVATION
- × MATCH EX 1874.50 MATCH EXISTING SPOT ELEVATION
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- 722 MINOR CONTOUR
- 720 MAJOR CONTOUR
- STORM PIPE
- CATCH BASIN
- STORM MANHOLE
- OPEN THROAT CATCH BASIN
- ▽ FLARED END SECTION

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**BLUM EXPANSION - BE13**

BLUM US, 7735 OLD PLANK RD, STANLEY, NC 28164

SHEET ISSUE:

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REVISED BY:

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SHEET TITLE:

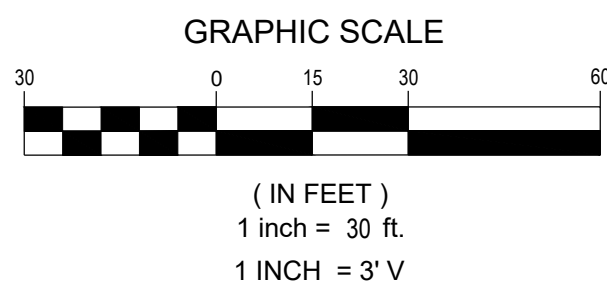
**STORM DRAINAGE PLAN**

SHEET NO.

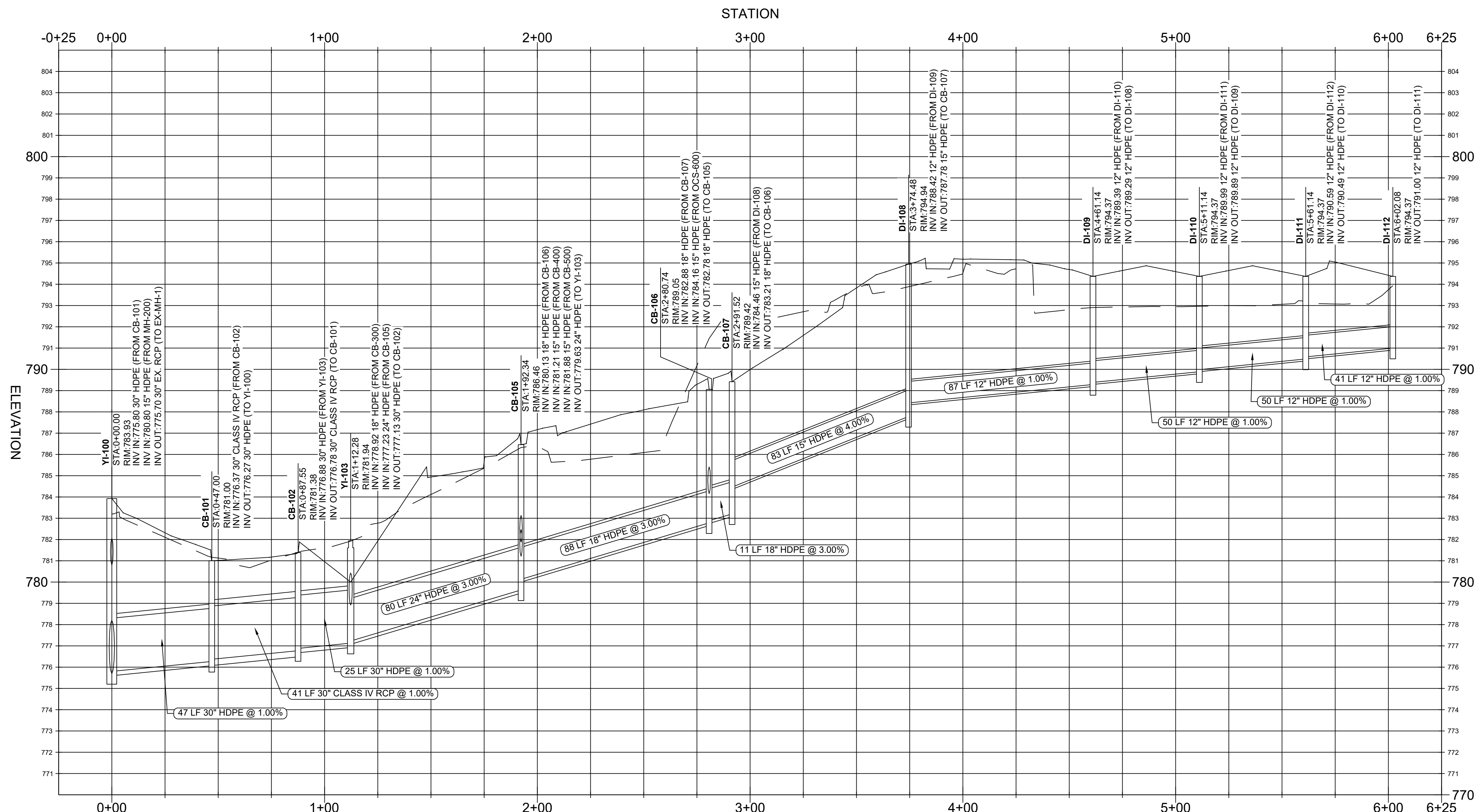
CES PROJ. NO. 8522.1024

**C4.2**

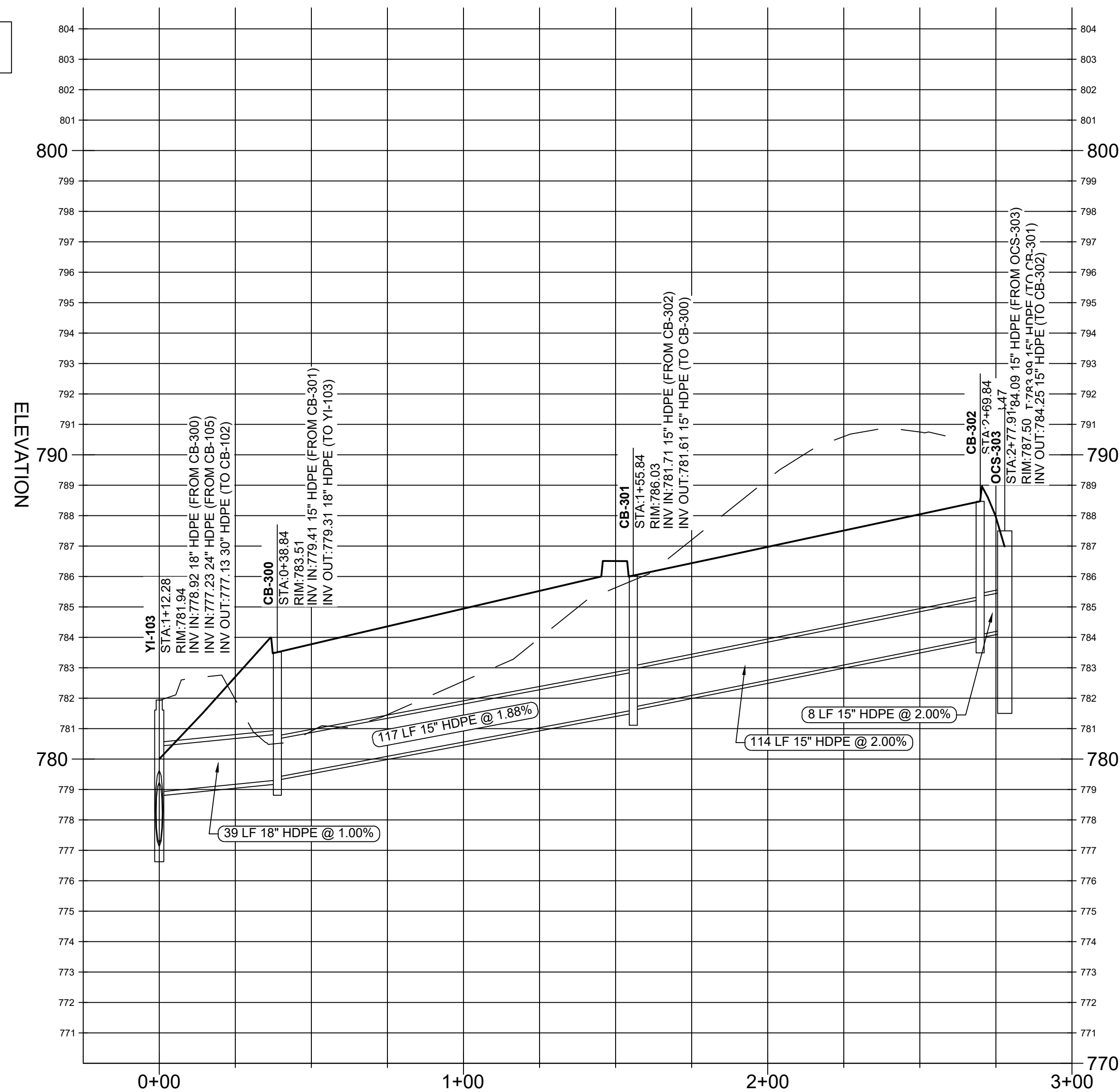
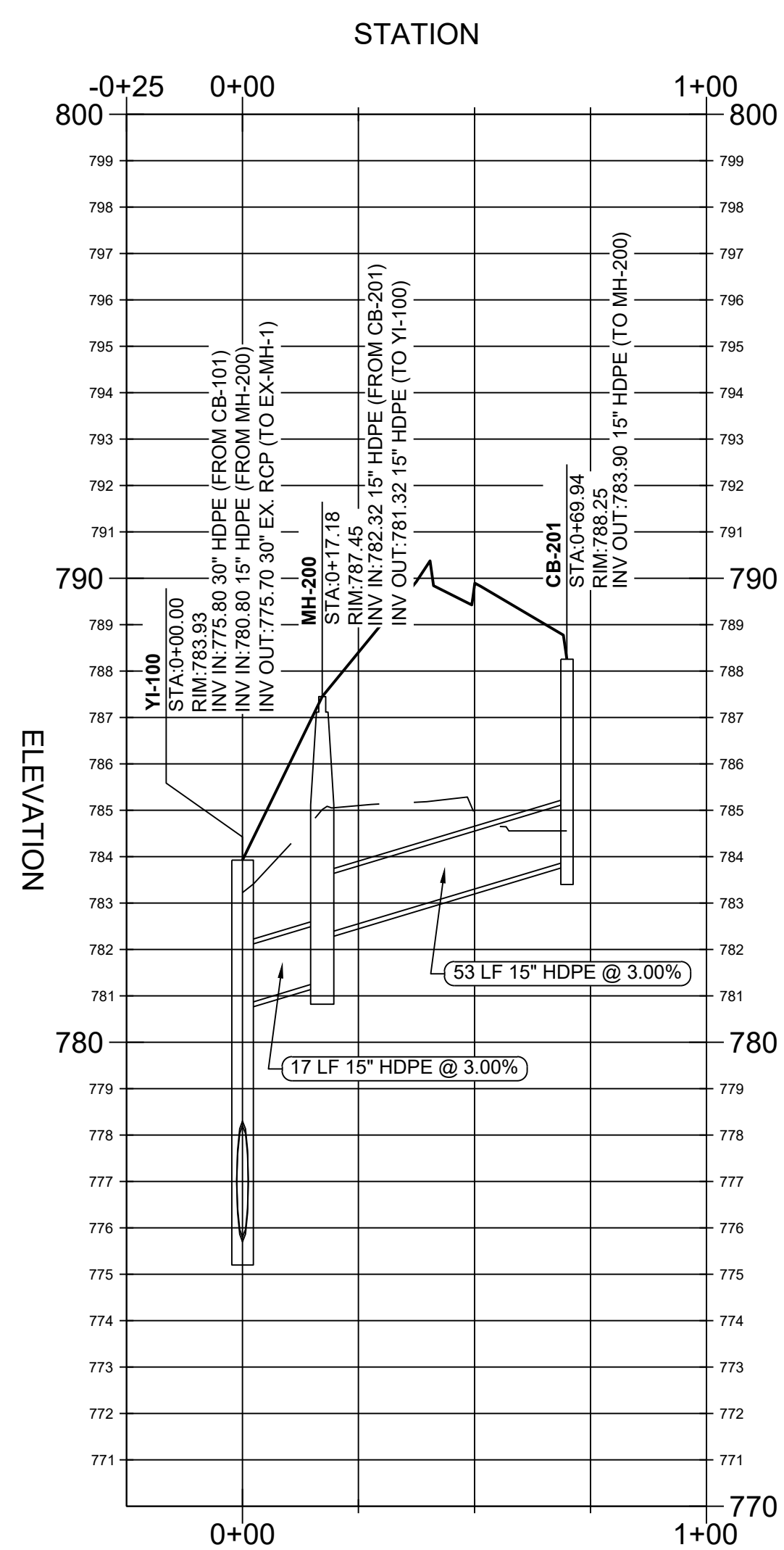




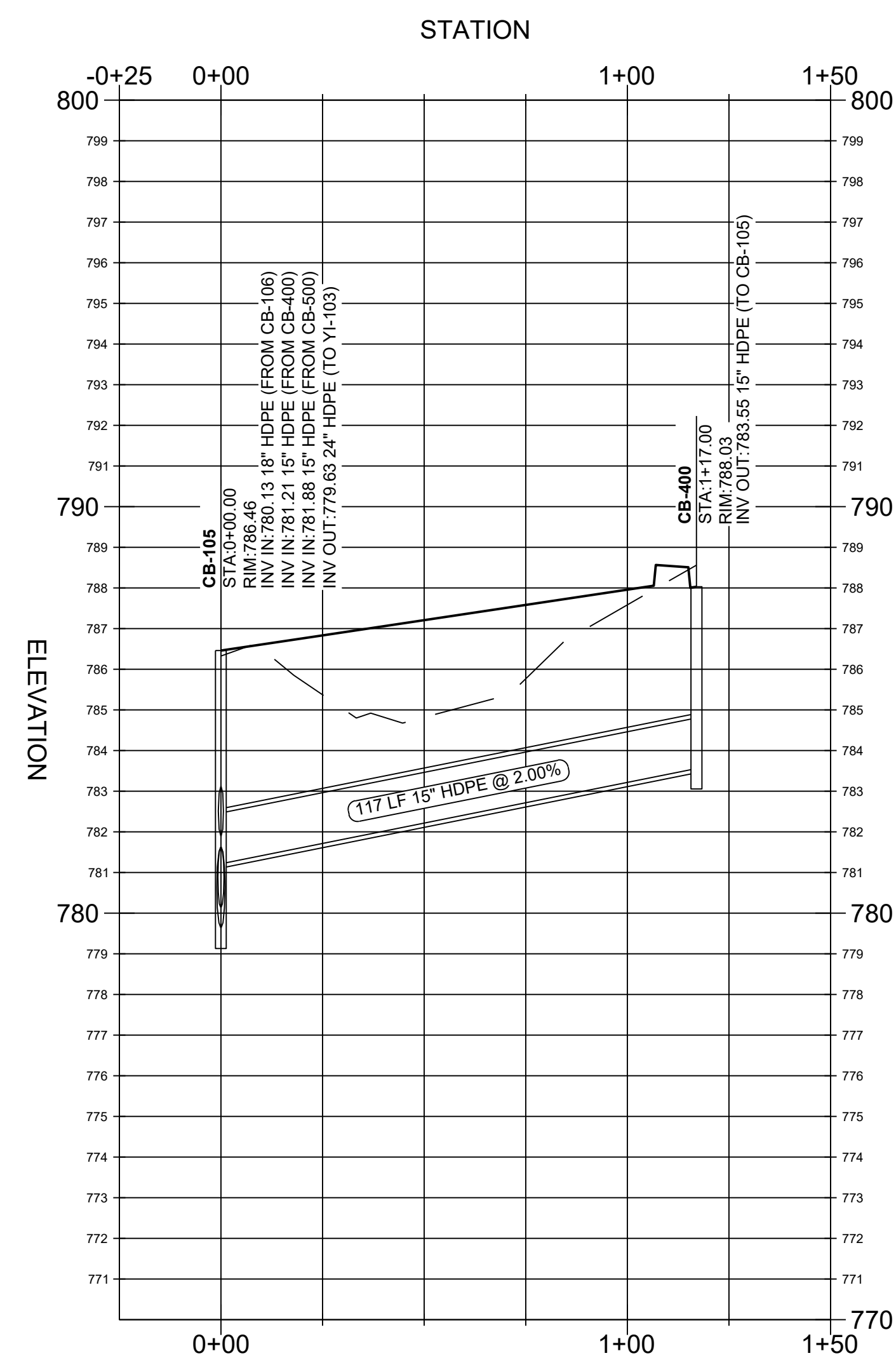
STORM 100 PROFILE -0+25 TO 6+25



# STORM 200 PROFILE -0+25 TO 1+00



STORM 400 PROFILE -0+25 TO 1+50



### STORM PIPE TABLE

STORM PIPE TABLE						
PIPE NAME	FROM	TO	SIZE	LENGTH	SLOPE	MATERIAL
P-302	CB-302	CB-301	15"	114'	2.00%	HDPE
P-303	OCS-303	CB-302	15"	8'	2.00%	HDPE
P-802	CB-802	CB-801	15"	104'	1.00%	HDPE
P-107	CB-107	CB-106	18"	11'	3.00%	HDPE
P-108	DI-108	CB-107	15"	83'	4.00%	HDPE
P-600	OCS-600	CB-106	15"	83'	5.50%	HDPE
P-200	MH-200	YI-103	15"	17'	3.00%	HDPE
P-201	CB-201	MH-200	15"	53'	3.00%	HDPE
EXP-P-100	EXP-100	EXM-H-1	30"	125'	0.86%	EX RCP
P-702	CB-702	CB-701	15"	78'	1.00%	HDPE
P-501	OCS-501	CB-500	15"	76'	4.00%	HDPE
P-801	CB-801	FES-800	15"	71'	1.00%	HDPE
P-900	CB-900	CB-801	15"	25'	1.00%	HDPE
P-102	CB-102	CB-101	30"	41'	1.00%	CLASS IV RCP
P-101	CB-701	FES-700	15"	22'	1.13%	HDPE
P-106	CB-106	CB-105	18"	88'	3.00%	HDPE
P-105	CB-105	YI-103	24"	80'	3.00%	HDPE
P-300	CB-300	YI-103	18"	39'	1.00%	HDPE
P-103	YI-103	CB-102	30"	25'	1.00%	HDPE
P-101	CB-101	YI-100	30"	47'	1.00%	HDPE
P-301	CB-301	CB-300	15"	117'	1.88%	HDPE
P-400	CB-400	CB-105	15"	117'	2.00%	HDPE
P-500	CB-500	CB-105	15"	107'	2.00%	HDPE
P-112	DI-112	DI-111	12"	41'	1.00%	HDPE
P-111	DI-111	DI-110	12"	50'	1.00%	HDPE
P-110	DI-110	DI-109	12"	50'	1.00%	HDPE
P-109	DI-109	DI-108	12"	87'	1.00%	HDPE



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BLUM EXPANSION - BE13

BLUM US, 7733 OLD PLANK RD, STANLEY, NC 28164

[illegible]

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REVISED BY: -  
CHECKED BY: JM

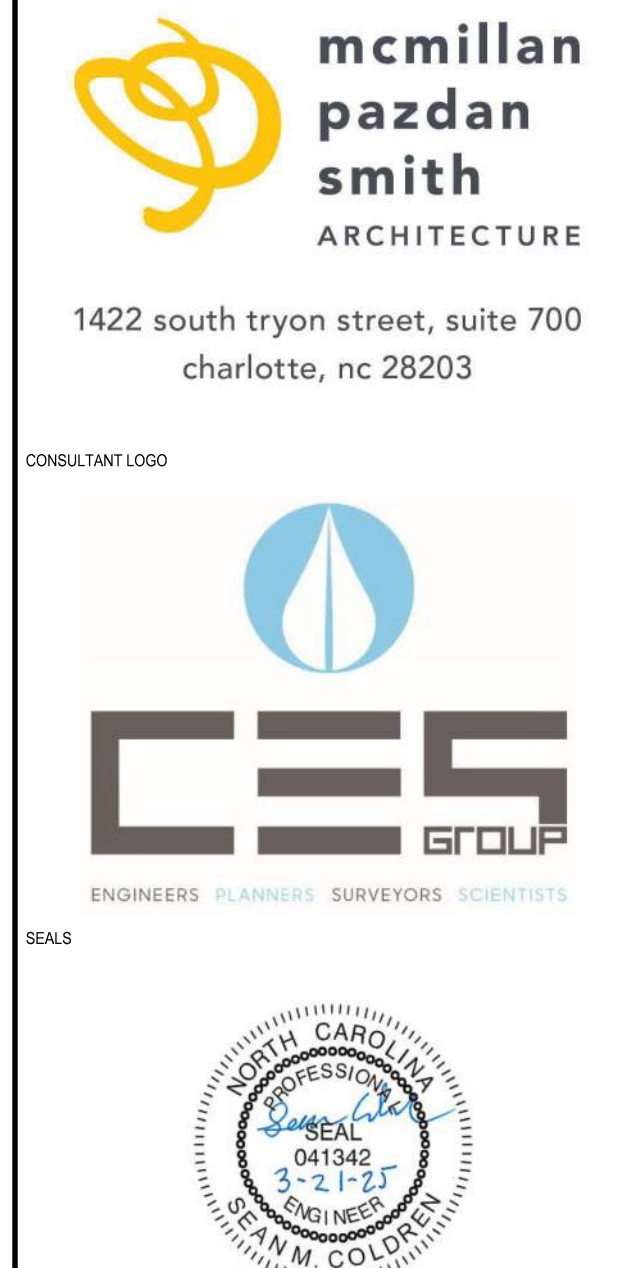
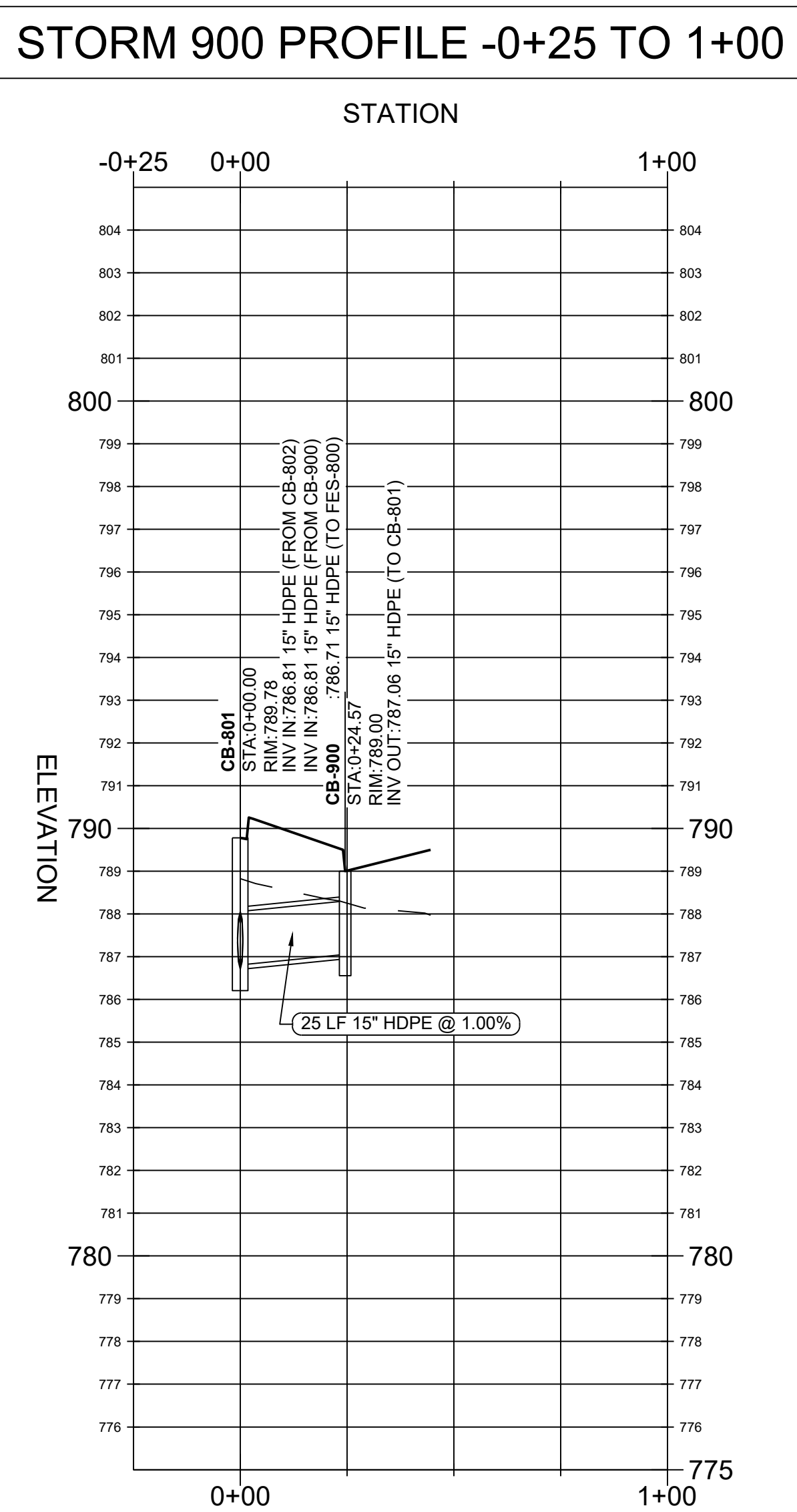
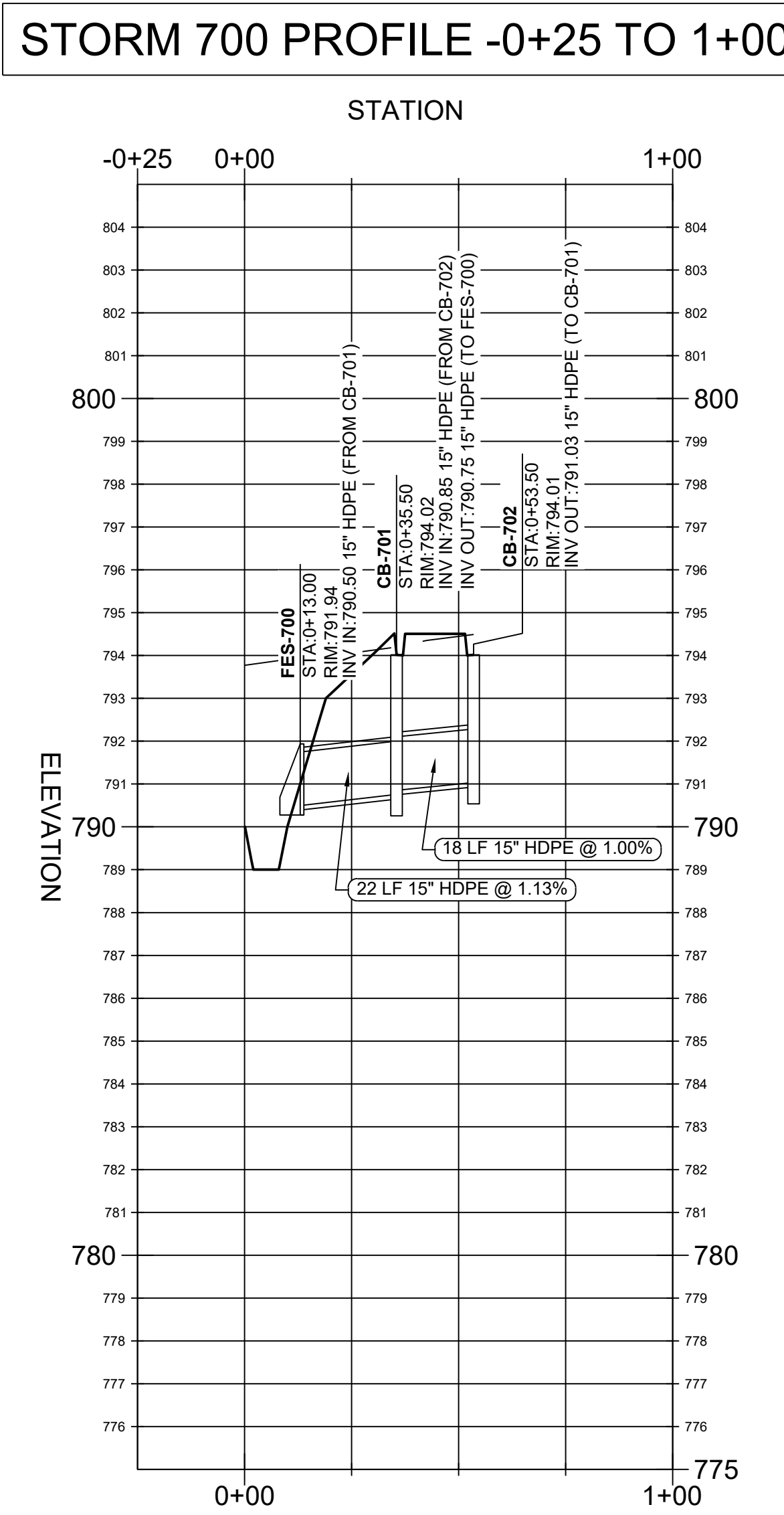
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## STORM PROFILES AND TABLES

SHEET NO. CES PRO

## C4.3





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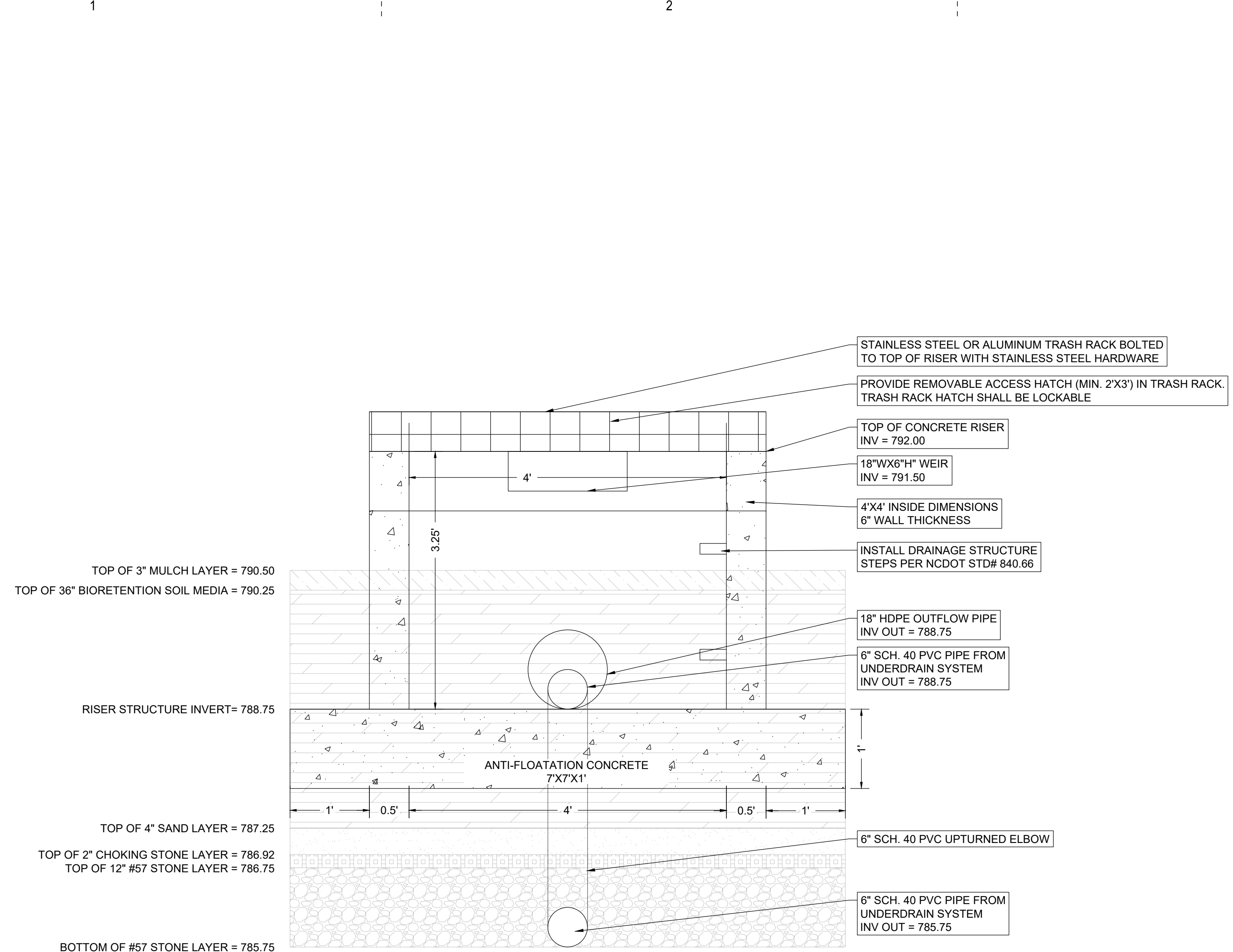
**BLUM EXPANSION - BE13**

BLUM US, 7733 OLD PLANK RD, STANLEY, NC 28164

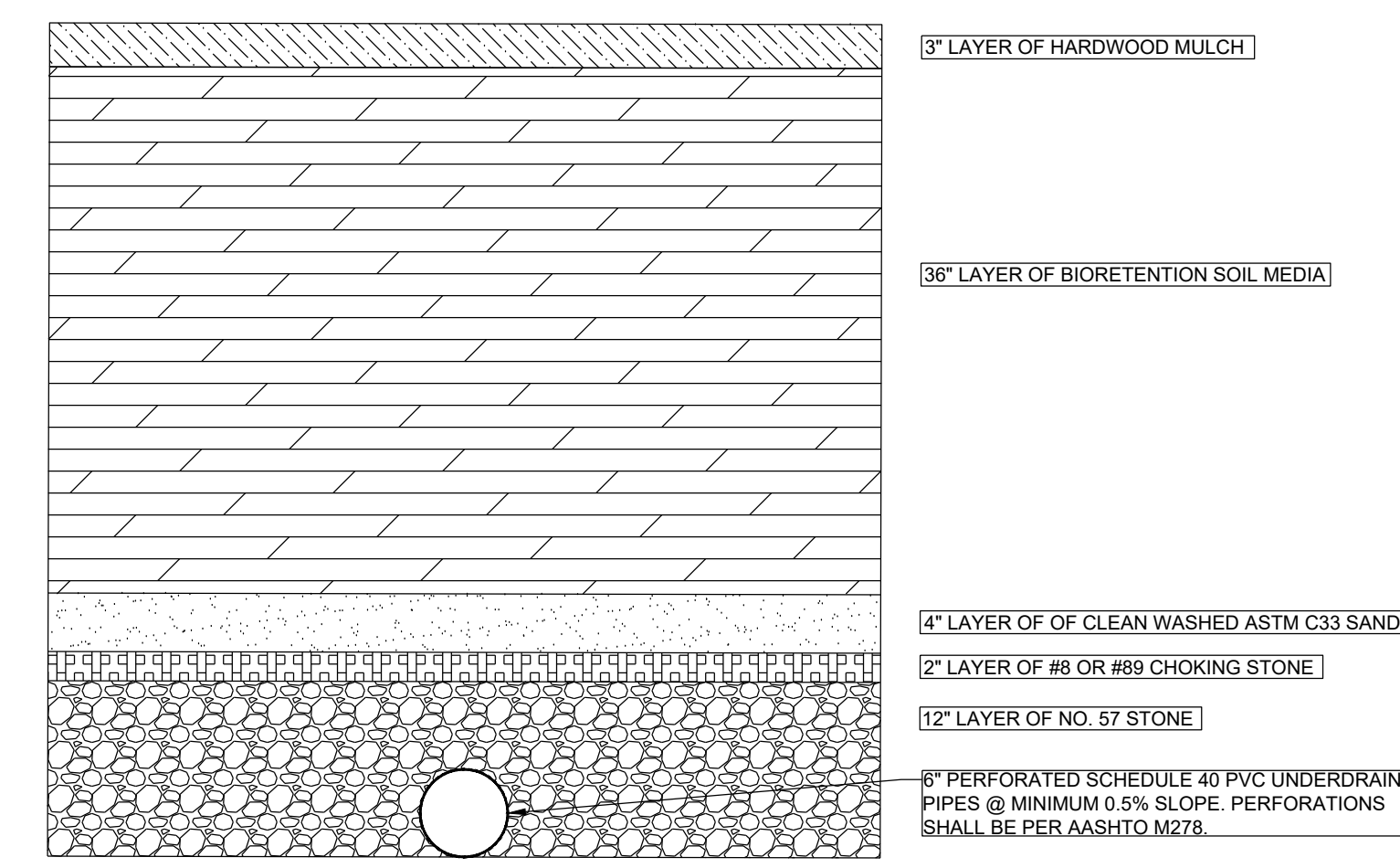
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## C4.1

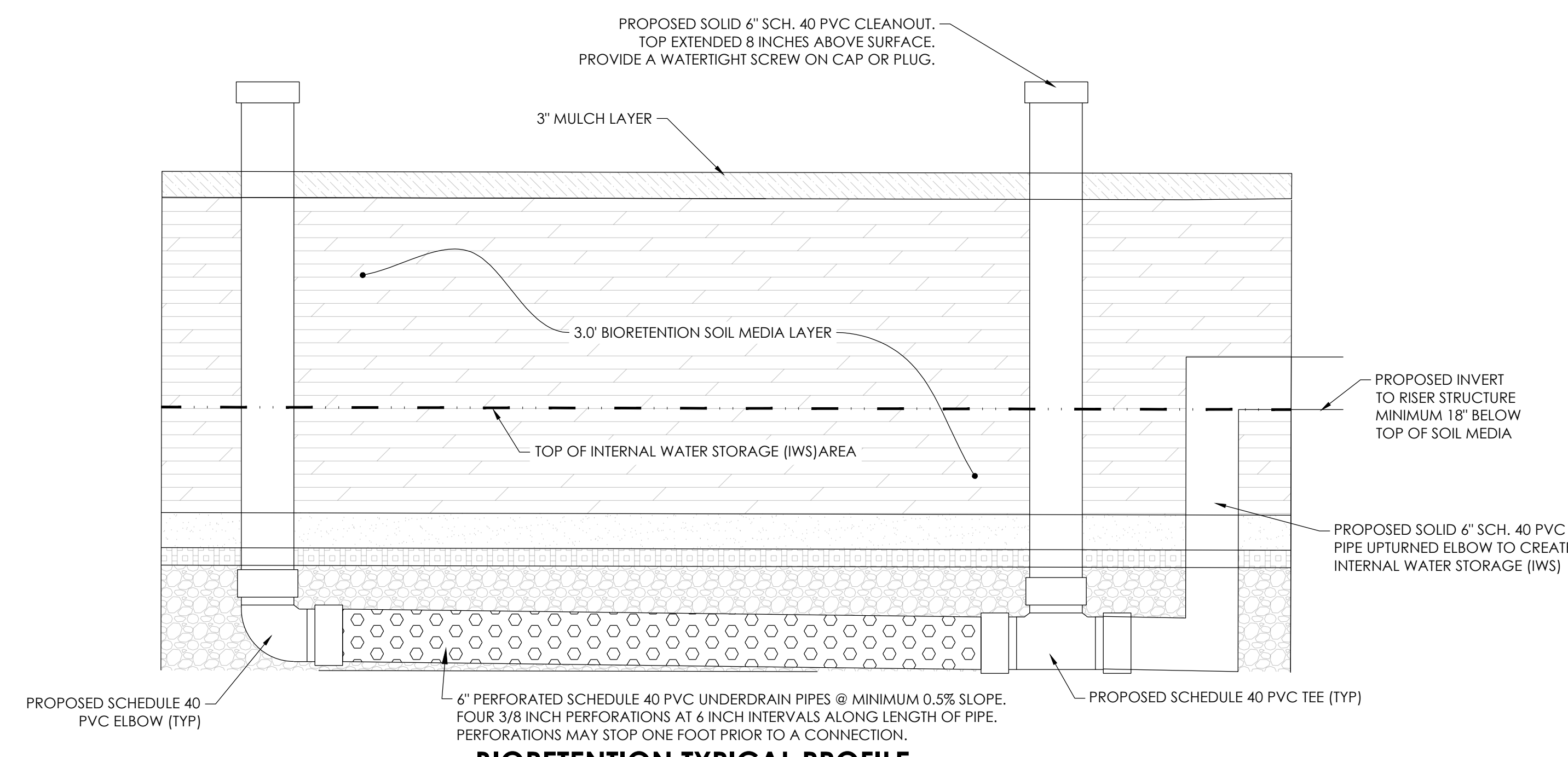




**RISER STRUCTURE  
(OCS-600)**  
NOT TO SCALE



**BIORETENTION SECTION**  
NOT TO SCALE



**BIORETENTION TYPICAL PROFILE**  
NOT TO SCALE

**BIORETENTION SOIL MIX**

THE MEDIA SHALL BE A HOMOGENEOUS SOIL MIX ENGINEERED MEDIA BLEND WITH APPROXIMATE VOLUMES OF:

- a. 75 TO 85 PERCENT MEDIUM TO COARSE WASHED SAND (ASTM C33, AASHTO M 6/M 80, ASTM C330, AASHTO M195, OR THE EQUIVALENT);
- b. 8 TO 15 PERCENT FINES (SILT AND CLAY) (MAXIMUM OF 8% CLAY); AND
- c. 5 TO 15 PERCENT ORGANIC MATTER (SUCH AS PINE BARK FINES).


THE HYDRAULIC CONDUCTIVITY FOR THE PLANTING MIXTURE IS TO BE A MINIMUM OF 1-INCH PER HOUR.

SOIL WITH A P INDEX OF LESS THAN OR EQUAL TO 50 SPECIFIED ON PLAN.

**BIORETENTION #1 ELEVATIONS**

TOP OF EMBANKMENT = 793.00  
EMERGENCY SPILLWAY = 792.00  
TOP OF RISER = 792.00  
TOP OF MULCH = 790.50  
TOP OF SOIL MEDIA = 790.25  
TOP OF IWS LAYER = 788.75  
TOP OF SAND LAYER = 787.25  
TOP OF CHOKING STONE LAYER = 786.92  
TOP OF #57 STONE = 786.75

1-YR WSEL = 791.55  
2-YR WSEL = 791.69  
10-YR WSEL = 792.08  
25-YR WSEL = 792.17  
50-YR WSEL = 792.22  
100-YR WSEL = 792.25




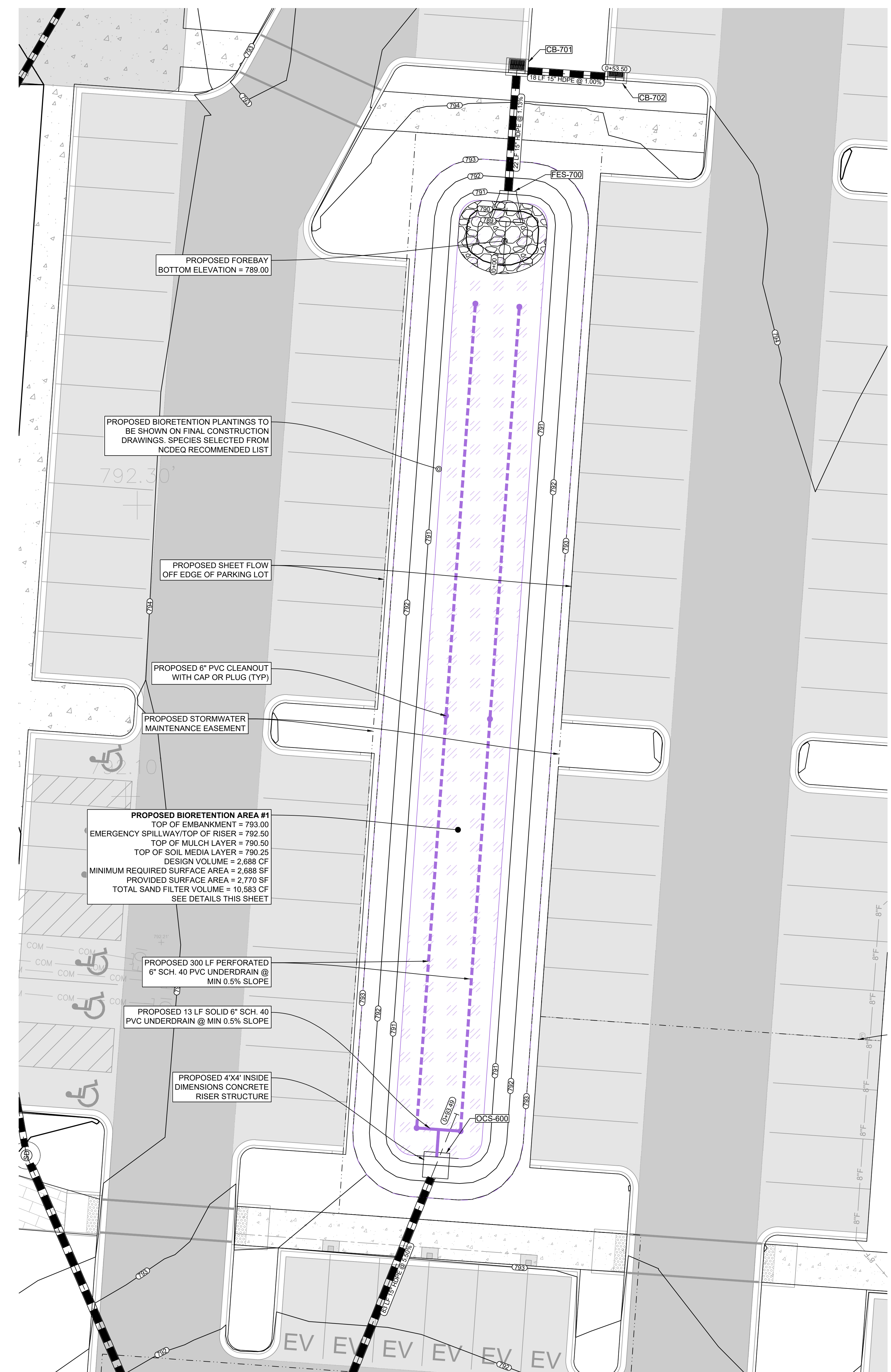
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GRAPHIC SCALE

10 0 5 10 20

(IN FEET)  
1 inch = 10 ft.







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**BLUM EXPANSION - BE13**

BLUM US, 7735 OLD PLANK RD, STANLEY, NC 28164

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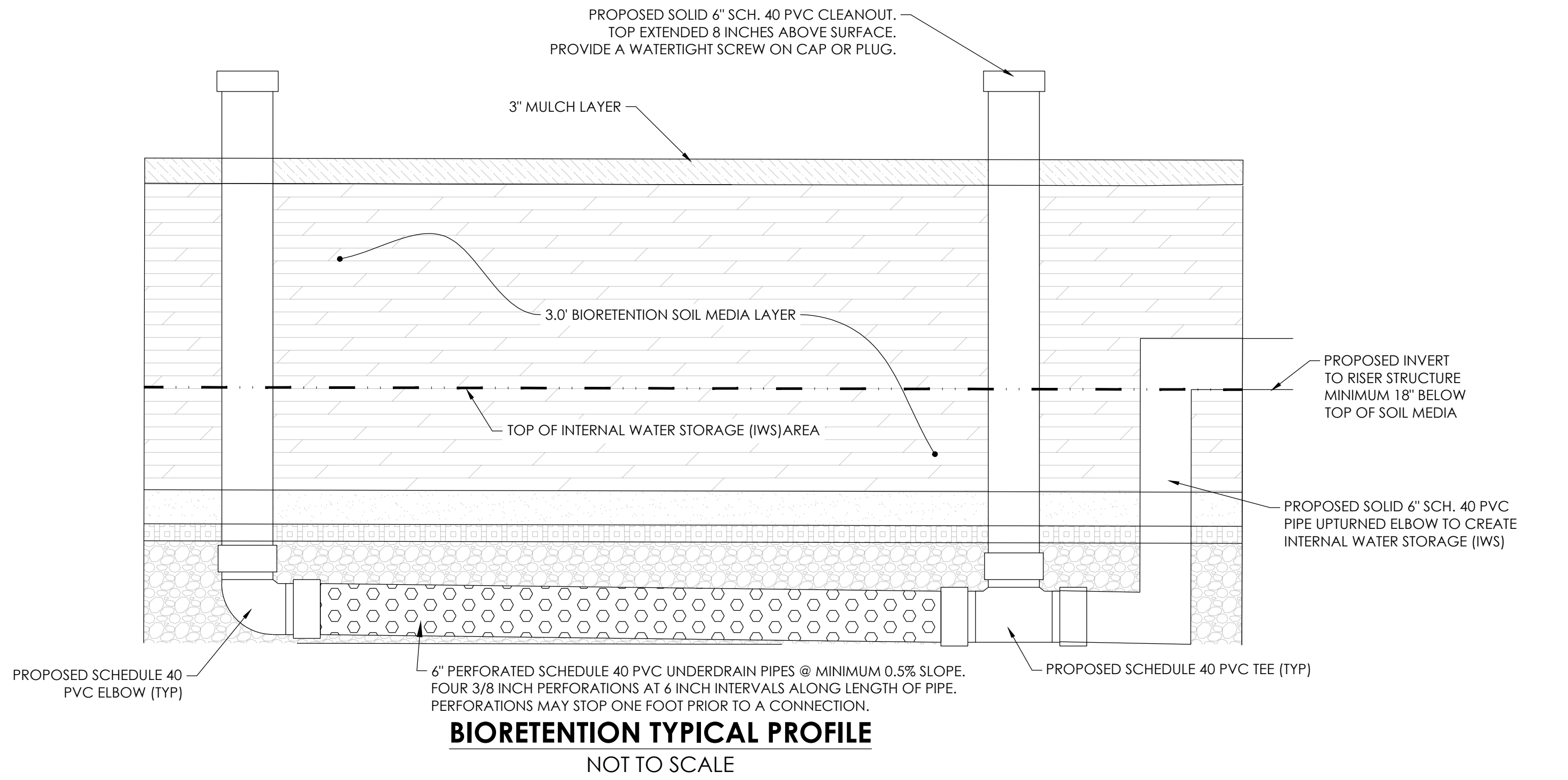
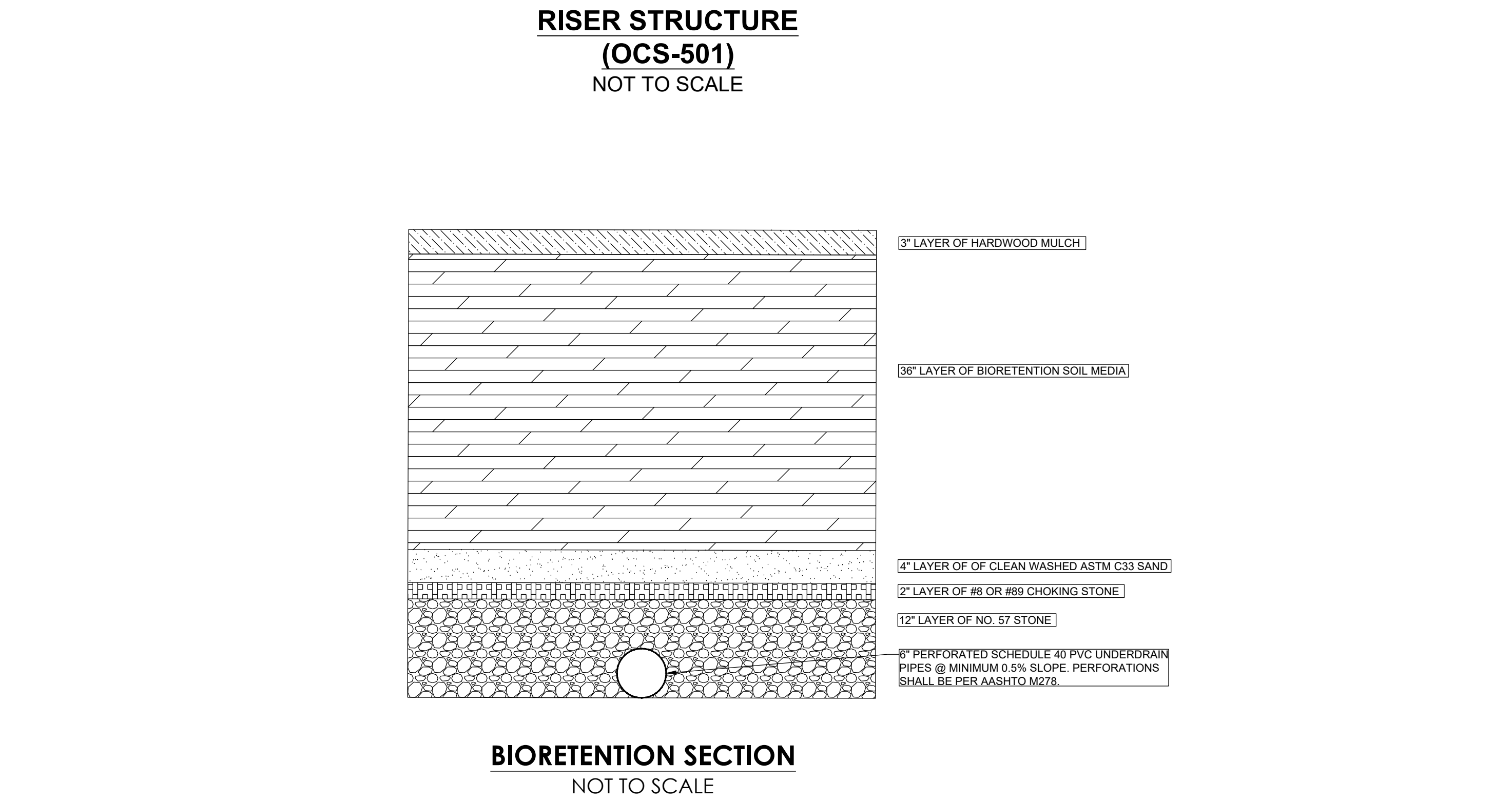
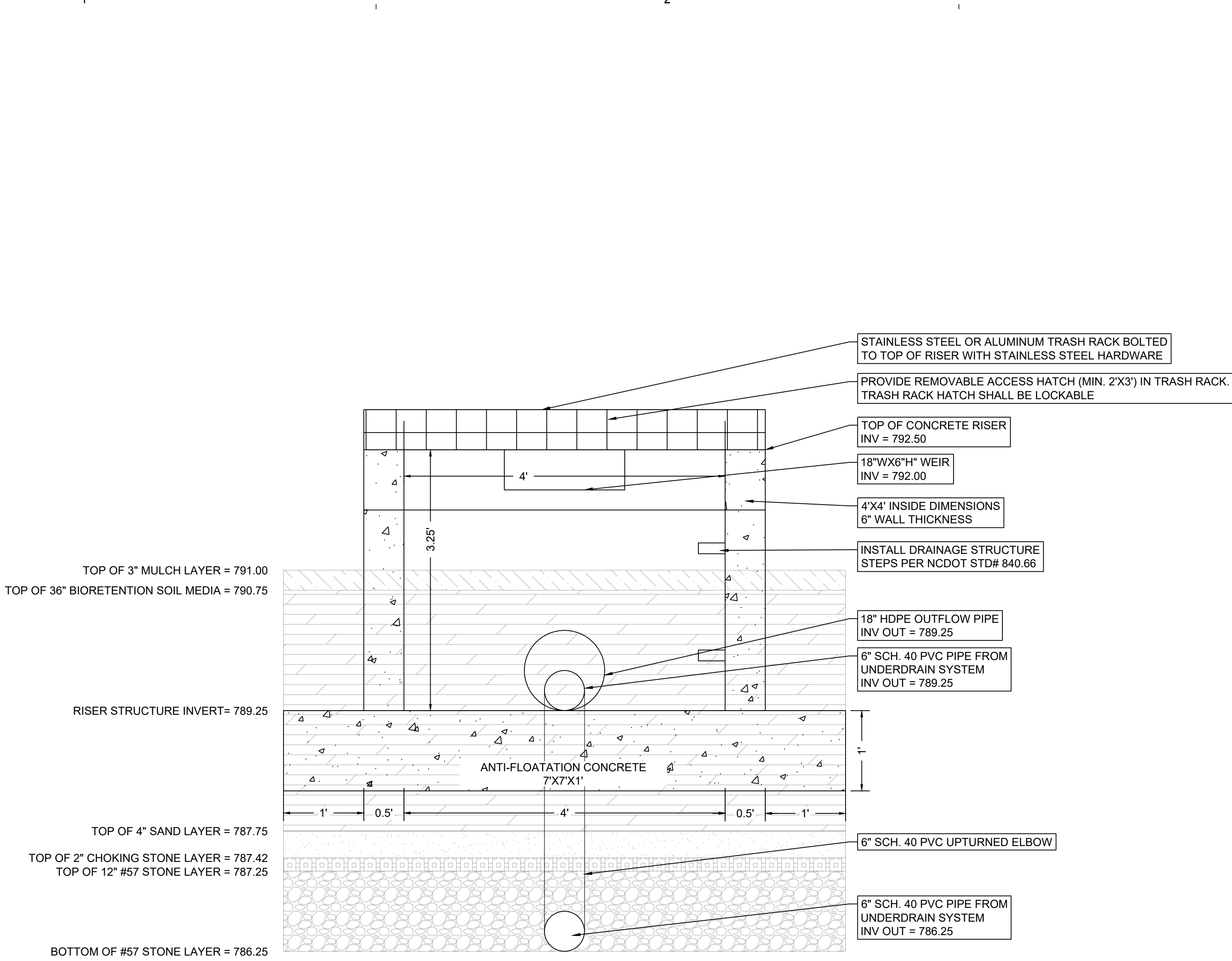
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**BIORETENTION #1 PLAN  
AND DETAILS**

SHEET NO. C4.5  
CES PROJ. NO. 8522.1024

SIENGENPROJECTS\B22\_102402 - BLUM BE13\DRAWINGS\SHEET\SS-BMP PLAN.DWG, March 21, 2025 SCOLDREH





**BIORETENTION SOIL MIX**

THE MEDIA SHALL BE A HOMOGENEOUS SOIL MIX ENGINEERED MEDIA BLEND WITH APPROXIMATE VOLUMES OF:

- a. 75 TO 85 PERCENT MEDIUM TO COARSE WASHED SAND (ASTM C33, AASHTO M 6/M 80, ASTM C330, AASHTO M195, OR THE EQUIVALENT);
- b. 8 TO 15 PERCENT FINES (SILT AND CLAY) (MAXIMUM OF 8% CLAY); AND
- c. 5 TO 15 PERCENT ORGANIC MATTER (SUCH AS PINE BARK FINES).


THE HYDRAULIC CONDUCTIVITY FOR THE PLANTING MIXTURE IS TO BE A MINIMUM OF 1-INCH PER HOUR.

SOIL WITH A P INDEX OF LESS THAN OR EQUAL TO 50 SPECIFIED ON PLAN.

**BIORETENTION #2 ELEVATIONS**

TOP OF EMBANKMENT = 793.00  
EMERGENCY SPILLWAY = 792.50  
TOP OF RISER = 792.50  
TOP OF MULCH = 791.00  
TOP OF SOIL MEDIA = 790.75  
TOP OF IWS LAYER = 789.25  
TOP OF SAND LAYER = 787.75  
TOP OF CHOKING STONE LAYER = 787.42  
TOP OF #57 STONE = 786.25

1-YR WSEL = 791.74  
2-YR WSEL = 791.99  
10-YR WSEL = 792.30  
25-YR WSEL = 792.49  
50-YR WSEL = 792.58  
100-YR WSEL = 792.63




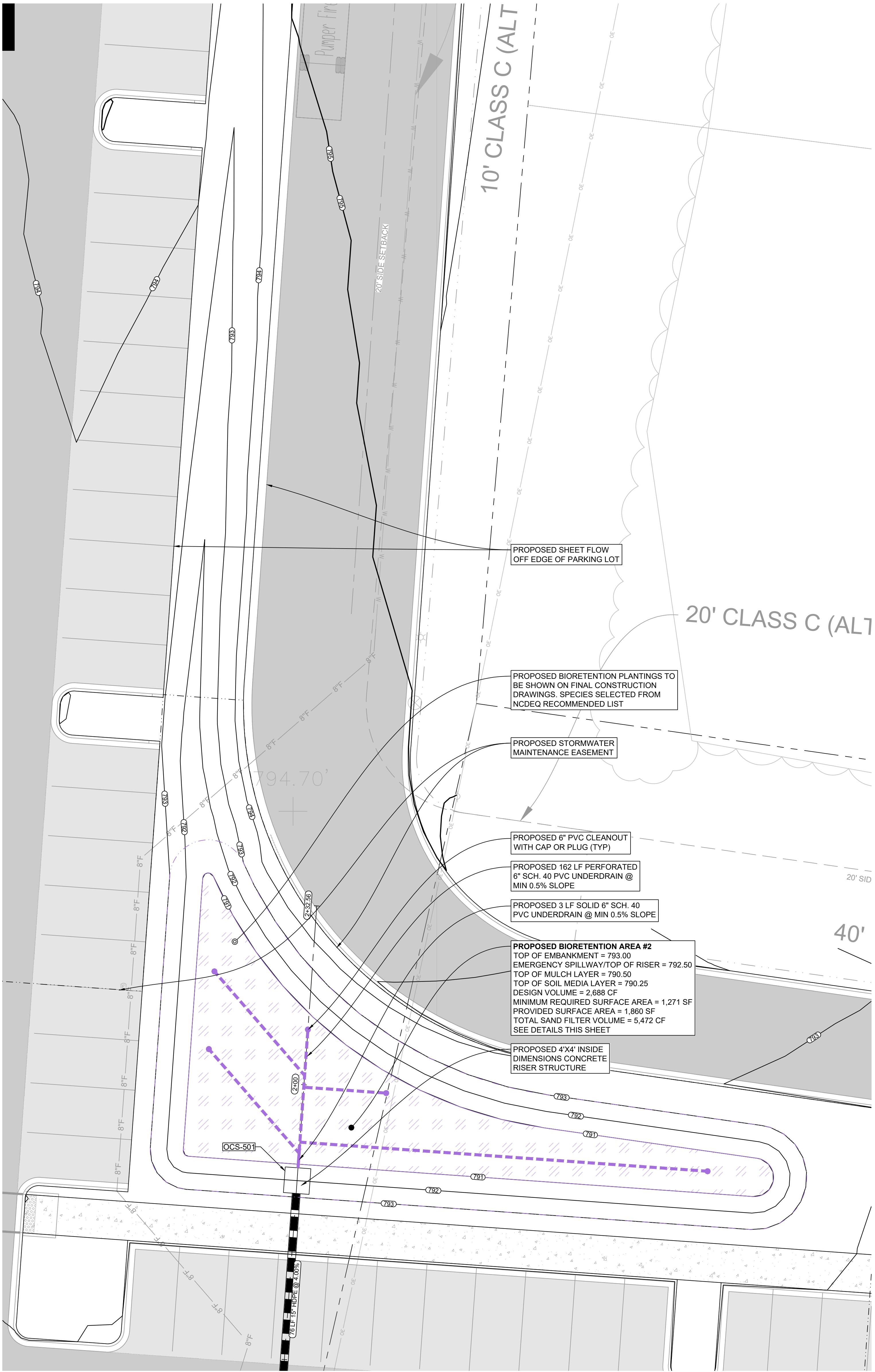
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GRAPHIC SCALE

10 0 5 10 20

(IN FEET)  
1 inch = 10 ft.







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**BLUM EXPANSION - BE13**

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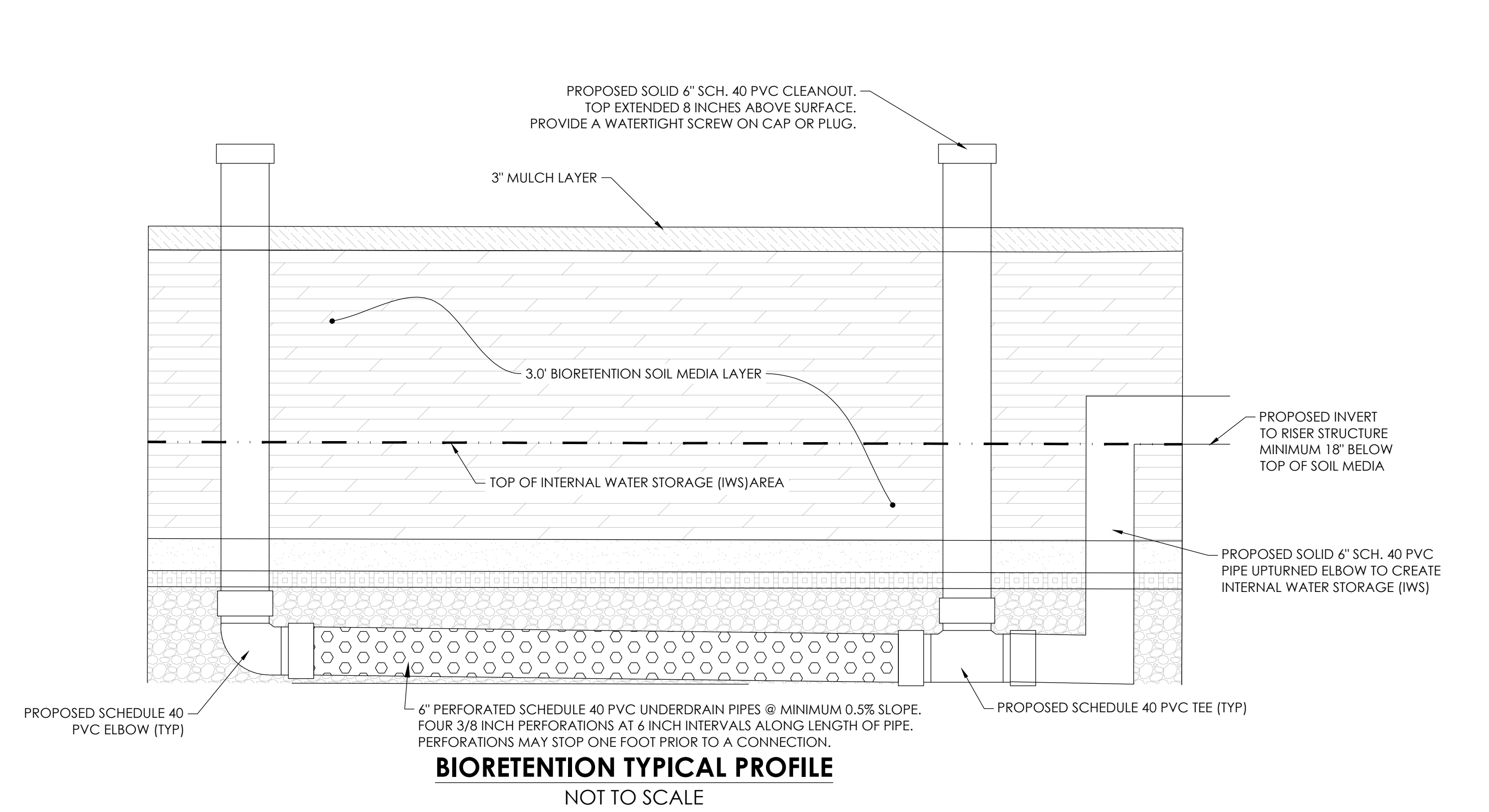
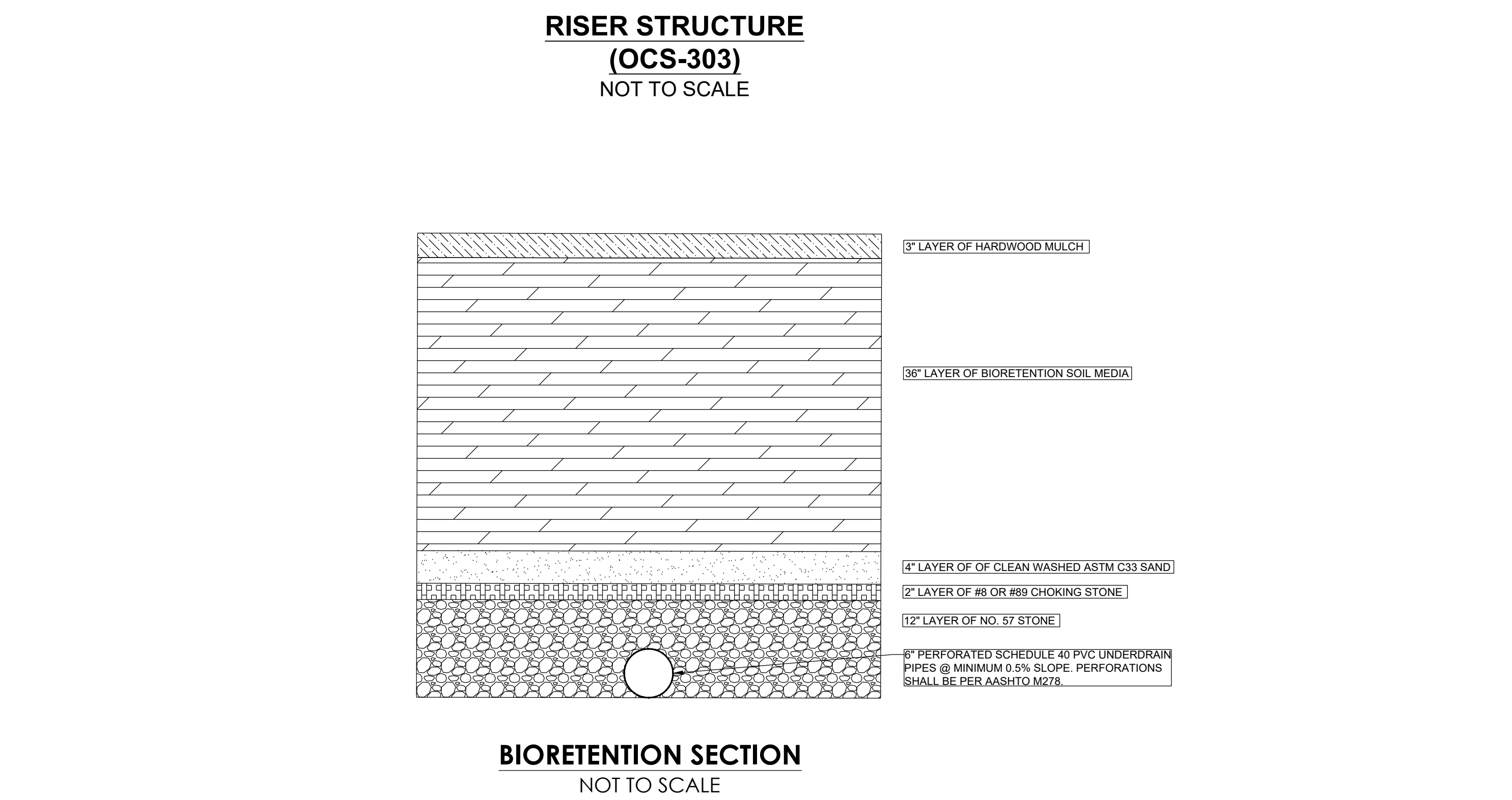
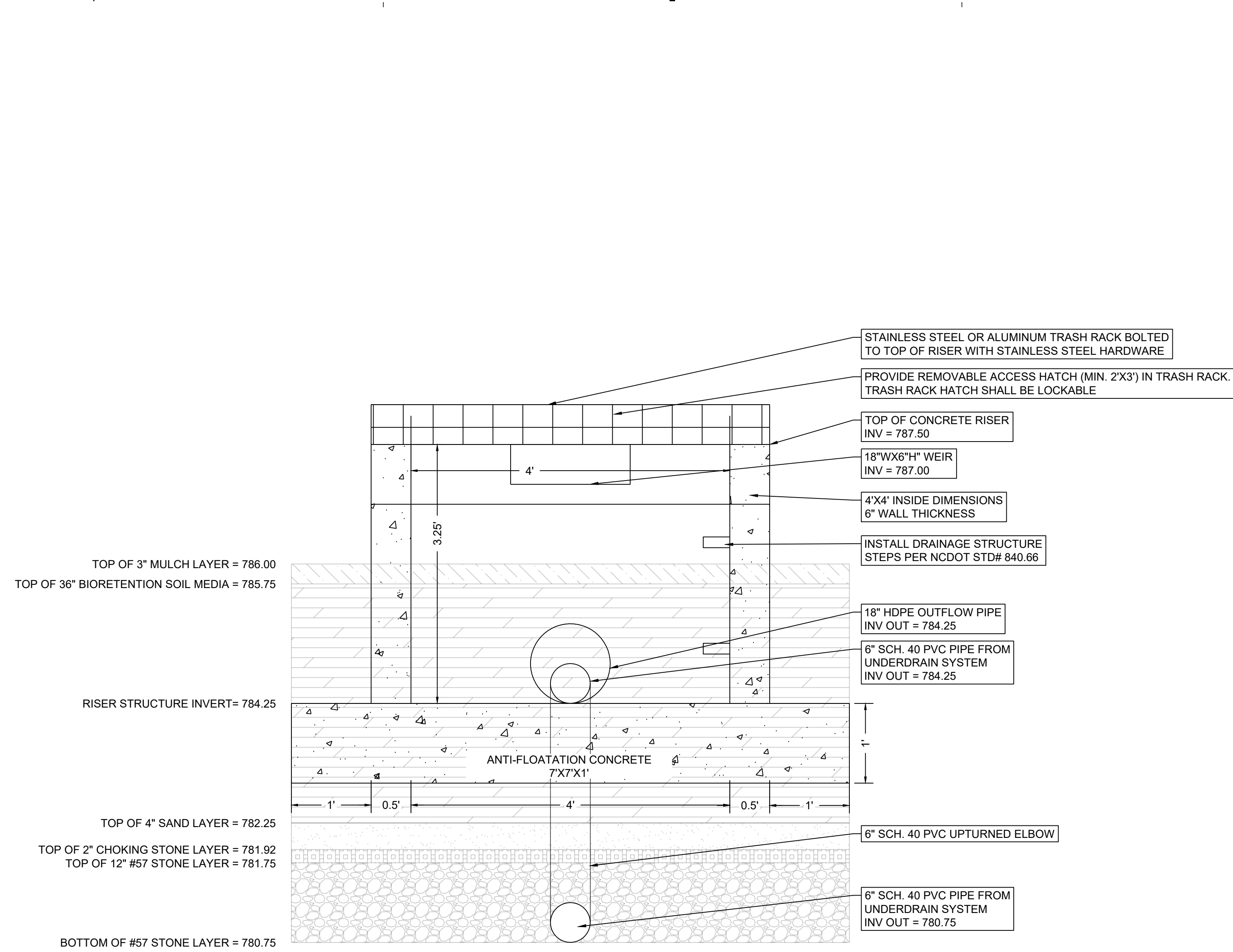
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SHEET TITLE:  
**BIORETENTION #2 PLAN  
AND DETAILS**

SHEET NO. C4.6  
CES PROJ. NO. 8522.1024





**BIORETENTION SOIL MIX**

THE MEDIA SHALL BE A HOMOGENEOUS SOIL MIX ENGINEERED MEDIA BLEND WITH APPROXIMATE VOLUMES OF:

- a. 75 TO 85 PERCENT MEDIUM TO COARSE WASHED SAND (ASTM C33, AASHTO M 6/M 80, ASTM C330, AASHTO M195, OR THE EQUIVALENT);
- b. 8 TO 15 PERCENT FINES (SILT AND CLAY) (MAXIMUM OF 8% CLAY); AND
- c. 5 TO 15 PERCENT ORGANIC MATTER (SUCH AS PINE BARK FINES).


THE HYDRAULIC CONDUCTIVITY FOR THE PLANTING MIXTURE IS TO BE A MINIMUM OF 1-INCH PER HOUR.

SOIL WITH A P INDEX OF LESS THAN OR EQUAL TO 50 SPECIFIED ON PLAN.

**BIORETENTION #3 ELEVATIONS**

TOP OF EMBANKMENT = 788.00  
EMERGENCY SPILLWAY = 787.50  
TOP OF RISER = 787.50  
TOP OF MULCH = 786.00  
TOP OF SOIL MEDIA = 785.75  
TOP OF IWS LAYER = 784.25  
TOP OF SAND LAYER = 782.75  
TOP OF CHOKING STONE LAYER = 781.92  
TOP OF #57 STONE = 781.75

1-YR WSEL = 786.93  
2-YR WSEL = 787.10  
10-YR WSEL = 787.49  
25-YR WSEL = 787.62  
50-YR WSEL = 787.67  
100-YR WSEL = 787.71




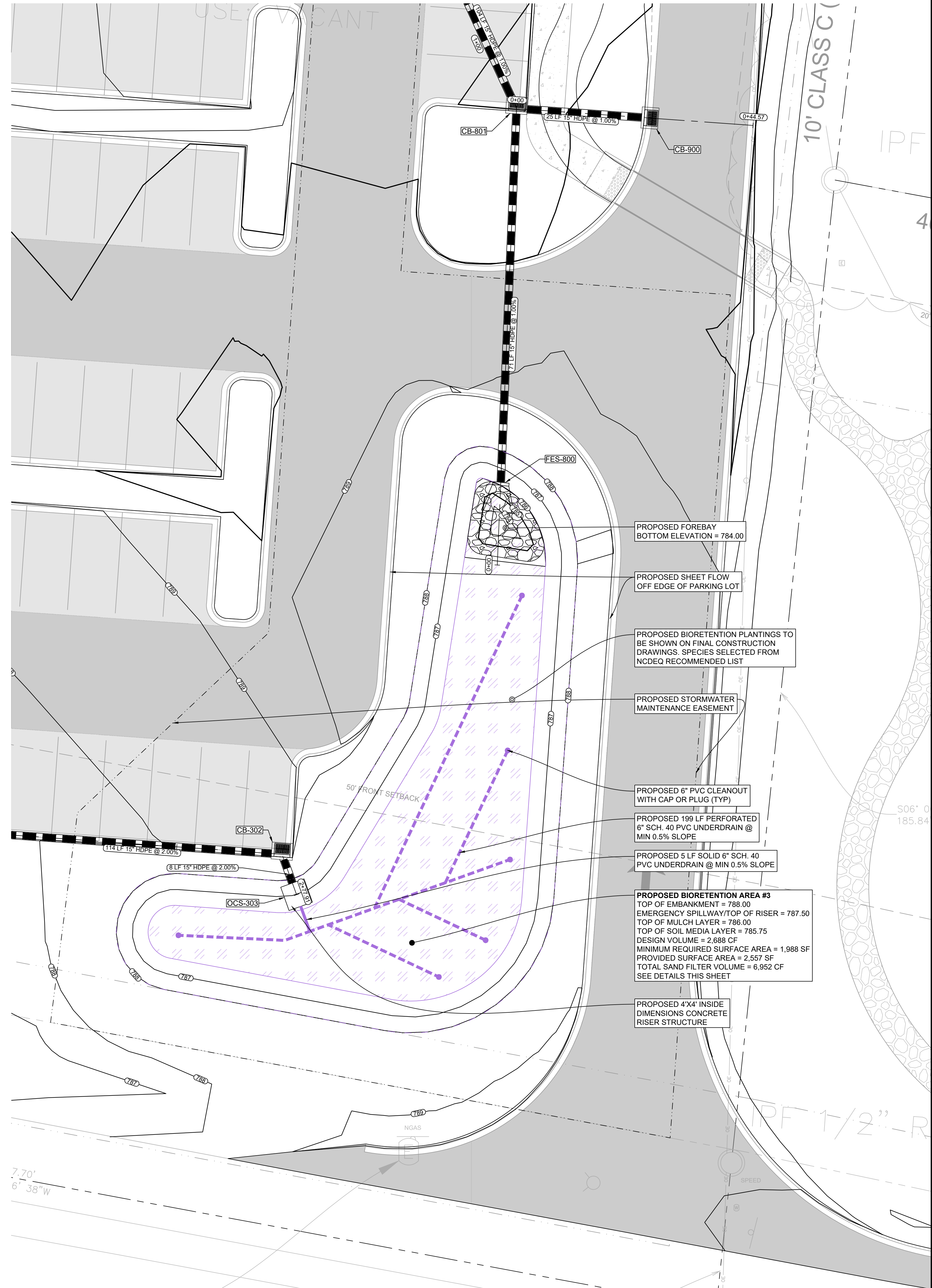
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GRAPHIC SCALE

10 0 5 10 20

(IN FEET)  
1 inch = 10 ft.







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**BLUM EXPANSION - BE13**

BLUM US, 7735 OLD PLANK RD, STANLEY, NC 28164

SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY

DRAWN BY:	SC
REVISED BY:	
CHECKED BY:	JM
SHEET TITLE:	

**BIORETENTION #3 PLAN AND DETAILS**

SHEET NO. CES PROJ. NO. 8522.1024

# C4.7





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DROP INLET RIM=792.61'  
INV IN(W)=789.29'  
INV IN(S)=788.45'  
INV OUT(N)=788.36'

DROP INLET RIM=792.66'  
INV IN(W)=789.22'  
INV IN(S)=788.80'  
INV OUT(N)=788.73'

DROP INLET RIM=793.66'  
INV IN(E)=790.17'  
INV IN(S)=789.06'  
INV OUT(N)=788.82'

DROP INLET RIM=795.60'  
INV OUT(S)=791.59'

PIPE END NOT FOUND

SANDY MILLER  
TAX PARCEL ID: 73671  
DB 3054 PG 158  
ZONING: ELDD R-T  
USE: RESIDENTIAL

DRAIN TOP=794.07'  
INV OUT(SW)=792.85

SEWER MH RIM=794.95'  
INV IN(W)=790.25'  
INV OUT(N)=790.24'

WATERSIDE OFFICE SUITES LLC  
TAX PARCEL ID: 02419  
DB 2944 PG 344  
ZONING: ELDD R-T  
USE: RESIDENTIAL

QUEENS CANDY KITCHEN (DBA)  
TAX PARCEL ID: 02419  
DB 473 PG 600  
ZONING: ELDD B-N & I-G  
USE: RESIDENTIAL

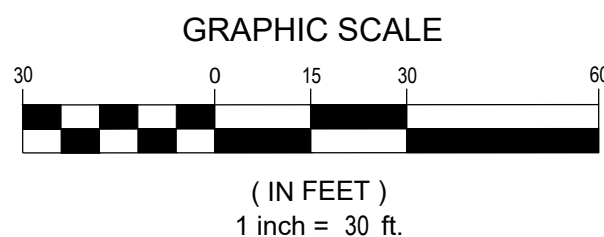
DELLINGER D B FURNITURE  
TAX PARCEL ID: 02287  
ZONING: ELDD B-N & I-G  
USE: RESIDENTIAL

PROPOSED 163 LF 8" RJ DIP FIRE LINE

PROPOSED 45 DEG BENDS WITH THRUST  
BLOCKING PER LINCOLN COUNTY PUBLIC  
UTILITIES STANDARDS (TYP)

PORTION OF EXISTING 8" FIRE LINE  
RELOCATED AROUND PROPOSED  
BIORETENTION AREA #2

APPROXIMATE  
LOCATION OF EXISTING  
8" FIRE LINE



#### PROPOSED LEGEND

- |     |   |                        |
|-----|---|------------------------|
| W   | W | WATER LINE             |
| +   |   | FIRE HYDRANT           |
| +   |   | GATE VALVE             |
| +   |   | WATER METER            |
| SS  |   | SANITARY SEWER PIPE    |
| SS  |   | SANITARY SEWER MANHOLE |
| SS  |   | STORM PIPE             |
| --- |   | CATV                   |
| --- |   | UNDERGROUND CABLE      |
| --- |   | OVERHEAD UTILITY LINE  |
| --- |   | UNDERGROUND ELECTRIC   |
| --- |   | FIBER OPTIC CABLE      |
| --- |   | GAS MAIN               |
| □   |   | FENCE                  |
| ●   |   | UTILITY POLE           |

#### WATER AND SEWER GENERAL NOTES:

- ALL WORK SHALL CONFORM TO LATEST REVISION OF THE LCPW OPERATIONAL MANUAL WHICH IS ON FILE AT THE DIVISION OF LINCOLN COUNTY PUBLIC WORKS OFFICE (115 W MAIN STREET, LINCOLTON, NORTH CAROLINA 28092).
- ANY QUANTITIES SHOWN ON PLANS ARE NOT VERIFIED BY LCPW.
- A PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE WORK MAY BEGIN. LINCOLN COUNTY PUBLIC WORKS SHALL BE NOTIFIED 48 HOURS PRIOR TO PROJECT MOBILIZATION.
- ALL WORK AND MATERIALS, WHICH DO NOT CONFORM TO LCPW SPECIFICATIONS, ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- ANY WORK PERFORMED WITHOUT THE KNOWLEDGE OF LCPW IS SUBJECT TO RE-EXCAVATION, REMOVAL AND REPLACEMENT OF SAME TO BE DONE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL PROVIDE SUFFICIENT PERSONNEL AND EQUIPMENT ON THE JOB AT ALL TIMES DURING CONSTRUCTION TO SATISFY THE SPECIFICATIONS AND TO COMPLETE WORK.
- LCPW INSPECTION STAFF MAY OBSERVE PROJECT CONSTRUCTION.
- THE CONTRACTOR IS TO UNCOVER ALL EXISTING LINES BEING TIED INTO AND VERIFY GRADES BEFORE BEGINNING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND TAKE ALL POSSIBLE PRECAUTIONS TO AVOID ANY DAMAGE TO ALL UNDERGROUND PIPELINES, TELEPHONE, CABLE TV, ELECTRIC LINES/CONDUITS AND STRUCTURES IN ADVANCE OF ANY CONSTRUCTION. LCPW WILL NOT GUARANTEE ANY LOCATIONS AS SHOWN ON THESE PLANS OR THOSE OMITTED FROM THESE PLANS. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PROTECT EXISTING UTILITIES AND STRUCTURES.
- CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THE PLANS. IF ANY DISCREPANCIES IN QUANTITIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND LCPW.
- ALL REGULATORY AND PERMITTING AGENCIES' REQUIREMENTS SHALL BE COMPLIED WITH.
- APPROPRIATE TURBIDITY CONTROL DEVICES (E.G. SILT FENCES, HAY BAILS) WILL BE UTILIZED DURING ALL PHASES OF INSTALLATION AND GRADING. CONTRACTOR IS RESPONSIBLE FOR CONTACTING LINCOLN COUNTY SOIL AND CONSERVATION DEPARTMENT TO DETERMINE THE REQUIREMENTS FOR PERMITTING, DEVELOPING AND MAINTAINING AN EFFECTIVE STORM WATER POLLUTION PREVENTION PLAN.
- LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS, BUT DO NOT PURPORT TO BE ABSOLUTELY CORRECT. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES AFFECTING HIS WORK. ANYTHING NOT SHOWN ON THESE DRAWINGS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND SHALL NOT CONSTITUTE AN EXTRA, UNLESS APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER AND LCPW IMMEDIATELY CONCERNING ANY CONFLICTS WITH LCPW UTILITIES/STRUCTURES ARISING DURING CONSTRUCTION OF ANY FACILITIES SHOWN ON THESE DRAWINGS.
- TRAFFIC MUST BE MAINTAINED AT ALL TIMES AS PER NORTH CAROLINA COUNTY DEPARTMENT OF TRANSPORTATION (NCDOT).
- THE CONTRACTOR SHALL NOTIFY UTILITIES UTILIZING THE 811 SERVICE PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL REPLACE ALL PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, FENCES, ETC., WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL RESTORE ALL AREAS AFFECTED BY THE CONSTRUCTION TO ITS ORIGINAL CONDITION, OR BETTER.
- WITHIN THE NCDOT RIGHT-OF-WAY, ALL DISTURBED AREAS SHALL RECEIVE GRASSING (SEEDING) OR SOODING MATERIALS IN ACCORDANCE WITH NCDOT SPECIFICATIONS.
- THE INFORMATION PROVIDED IN THESE PLANS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF WORK. ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY MAY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH THEIR BIDS WILL BE BASED.
- ALL FRAMES, COVERS VALVE BOXES, METER BOXES AND MANHOLES SHALL BE ADJUSTED TO FINISHED GRADE UPON COMPLETION OF PAVING OR RELATED CONSTRUCTION.



1422 south tryon street, suite 700  
charlotte, nc 28203

CONSULTANT LOGO



SEALS



BLUM EXPANSION - BE13

BLUM US, 7735 OLD PLANK RD, STANLEY, NC 28164

SHEET ISSUE:  
NO. DATE DESCRIPTION BY

DRAWN BY:  
REVISED BY:  
CHECKED BY:

SC  
JM

SHEET TITLE:  
UTILITY PLAN

SHEET NO.

CEC PROJ. NO.  
8522.1024

C5.0