



PLANNING & INSPECTIONS DEPARTMENT  
Joshua L. Grant, Manager

To: Board of Commissioners  
From: Joshua L. Grant, Manager  
Date: November 14, 2023  
Re: WSSUP #35  
Roman Catholic Diocese of Charlotte, applicant  
Parcel ID# 51306, 58758, 58766, 58765

*The following information is for use by the Lincoln County Board of Commissioners at their meeting/public hearing on December 4, 2023.*

### Request

The applicant is requesting a watershed special use permit to use the high-density option in the Catawba River/Lake Norman WS-IV Protected Area. The applicant is proposing to develop a 7.642-acre site for a 16,000-square-foot building for a new sanctuary to expand capacity to more than 500 seats, not to exceed 1000 seats. The high-density option would allow the development to have a built-upon surface area covering up to 70 percent of the site, with the use of engineered stormwater controls. Otherwise, in this watershed district, non-residential developments that require an erosion control plan are limited to a built-upon area of 36 percent. In this case, a built-upon area of approximately 62 percent is proposed.

### Site Area and Description

The subject property is located on the west side of N.C. 16 Business at the intersection of Townsend Drive in Catawba Springs Township. The subject property is zoned B-G (General Business); the property is also located in the ELDD (Eastern Lincoln Development District) overlay. The property is adjoined by property zoned I-G (General Industrial) and B-G (General Business) (Residential-Single Family). Land uses in this area include business, industrial and institutional uses. This property is part of an area designated by the Lincoln County Land Use Plan as Suburban Commercial.



PLANNING & INSPECTIONS DEPARTMENT

Joshua L. Grant, Manager

### High-Density Option Requirements

Under the water-supply watershed regulations of the Lincoln County Unified Development Ordinance, the Catawba River/Lake Norman watershed is designated for the use of the high-density option. The option requires the use of stormwater control structures to control and treat the runoff from the first one-inch of rain. The structures must be designed to meet the Best Management Practices (BMP) standards of the N.C. Department of Environmental Quality. In this case, the plans call for the use of two sand filters. The proposed plans have been reviewed by the county engineer.

The regulations require the developer to post a bond or other financial security in an amount not less than 1.25 times the cost of constructing the necessary stormwater control structure. In addition, a binding agreement must be signed, requiring the owner to maintain, repair and, if necessary, reconstruct the structure in accordance with an approved operations and maintenance plan. Once the stormwater control structure has been constructed and inspected, and prior to the release of the financial security, the applicant is required to deposit with the county either cash or a similar approved instrument in an amount equal to 15 percent of the total construction cost or 100 percent of the cost of maintaining the structure over a 20-year period, whichever is greater.



## **Watershed Special Use Permit Application**

Lincoln County Planning and Inspections Department  
Zoning Administrator  
115 W. Main St., Lincolnton, NC 28092  
Phone: (704) 736-8440 Fax: (704) 732-9010

### **PART I**

Applicant Name Roman Catholic Diocese of Charlotte

Applicant Address 1123 South Church Street, Charlotte, NC 28203

Applicant Phone Number 704.370.6299

Property Owner Name Roman Catholic Diocese of Charlotte

Property Owner Address 1123 South Church Street, Charlotte, NC 28203

Property Owner Phone Number 704.370.6299

### **PART II**

Property Location 537 N NC 16 Business Hwy, Denver, NC 28037

4602674730, 4602672740

Property ID (10 digits) 4602674359, 4602676711 Property size 7.642 ac

Parcel # (5 digits) 51306, 58758, 58766, 58765 Deed Book(s) 691 Page(s) 545  
2249 103

### **PART III**

Watershed District WS-IVC

Briefly describe how the property is being used and any existing structures.

Existing church with associated parking and drives

Briefly describe the proposed project and the why it would require a Watershed Conditional Use Permit.

The proposed project will replace the existing church and provide new parking and drives within the WS-IVC watershed area. Existing impervious has been in place prior to 1/1/94.

**\$1,000.00 APPLICATION FEE MUST BE RECEIVED BEFORE PROCESSING.**

*I hereby certify that all knowledge of the information provided for this application and attachments is true and correct to the best of my knowledge.*

Wes Parker  
Applicant's Signature

01/21/23  
Date

Application # \_\_\_\_\_ Date \_\_\_\_\_

Applicant's Name Roman Catholic Diocese of Charlotte

Applicant's Address 1123 South Church Street, Charlotte, NC 28203

Property Location 537 N NC 16 Business Hwy,  
Denver, NC 28037 Existing Zoning ELDD B-G  
(General Business)

Proposed Special Use Same use of church with 500-1,000 seats

### **PROPOSED FINDINGS OF FACT**

1. The use will not materially endanger the public health or safety if located where proposed and developed according to plan. YES  NO

FACTUAL REASONS CITED: No change in use and minimal change in overall seating capacity.

2. The use meets all required conditions and specifications. YES  NO

FACTUAL REASONS CITED: All setbacks and buffers being met.

3. The use will not substantially injure the value of adjoining or abutting property unless the use is a public necessity. YES  NO

FACTUAL REASONS CITED: Same use and approximately same seating capacity.

4. The location and character of use, if developed according to the plan as submitted and approved, will be in harmony with the area in which it is to be located and will be in general conformity with the Land Use Plan for the area in question. YES  NO

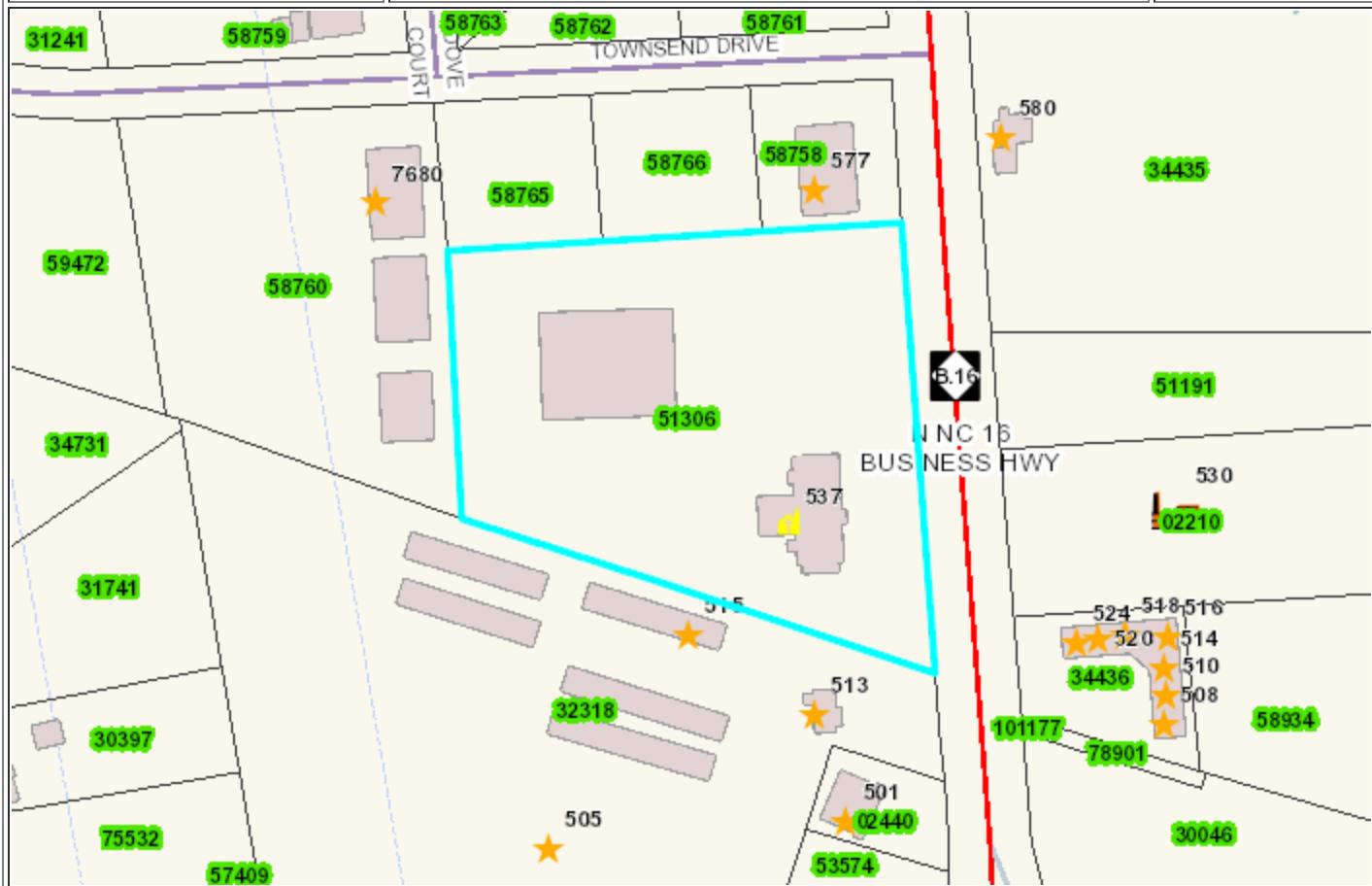
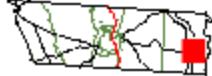
FACTUAL REASONS CITED: Proposed use will meet all development guidelines, in addition to any applicable guidelines required by the ELDD overlay.



## Lincoln County, NC

Office of the Tax Administrator, GIS Mapping Division

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<b>Parcel ID</b>	51306	<b>Owner</b>	ROMAN CATHOLIC DIOCESE OF CHARLOTTE				
<b>Map</b>	4602	<b>Mailing</b>	1123 S CHURCH ST				
<b>Account</b>	38274	<b>Address</b>	CHARLOTTE, NC 28203				
<b>Deed</b>	691 544	<b>Last Transaction Date</b>	01/01/1992	<b>Sale Price</b>	\$0		
<b>Plat</b>		<b>Subdivision</b>		<b>Lot</b>			
<b>Land Value</b>	\$1,110,210	<b>Improvement Value</b>	\$4,617,507	<b>Total Value</b>	\$5,727,717		
<b>Previous Parcel</b>							
-----All values for Tax Year 2023-----							
<b>Description</b>	HWY 16/EXEMPT PROP			<b>Deed Acres</b>	6.14		
<b>Address</b>	537 N NC 16 BUSINESS HWY			<b>Tax Acres</b>	5.436		
<b>Township</b>	CATAWBA SPRINGS			<b>Tax/Fire District</b>	EAST LINCOLN		
<b>Main Improvement</b>	CHURCH			<b>Value</b>	\$1,363,768		
<b>Main Sq Feet</b>	9396	<b>Stories</b>	1	<b>Year Built</b>	1970		
<b>Zoning District</b>	<b>Calc Acres</b>	<b>Voting Precinct</b> <b>Calc Acres</b>					
B-G	5.44	TA37 5.44					
<b>Watershed</b>							
	3.28	<b>Sewer District</b>					
	2.16	SEWER 5.44					
<b>Census County</b>		<b>Tract</b>	<b>Block</b>				
109		071101	3020	0.54			
109		071101	3019	4.9			
<b>Flood</b>	<b>Zone Description</b>	<b>Panel</b>					
X	NO FLOOD HAZARD	3710460200 5.44					

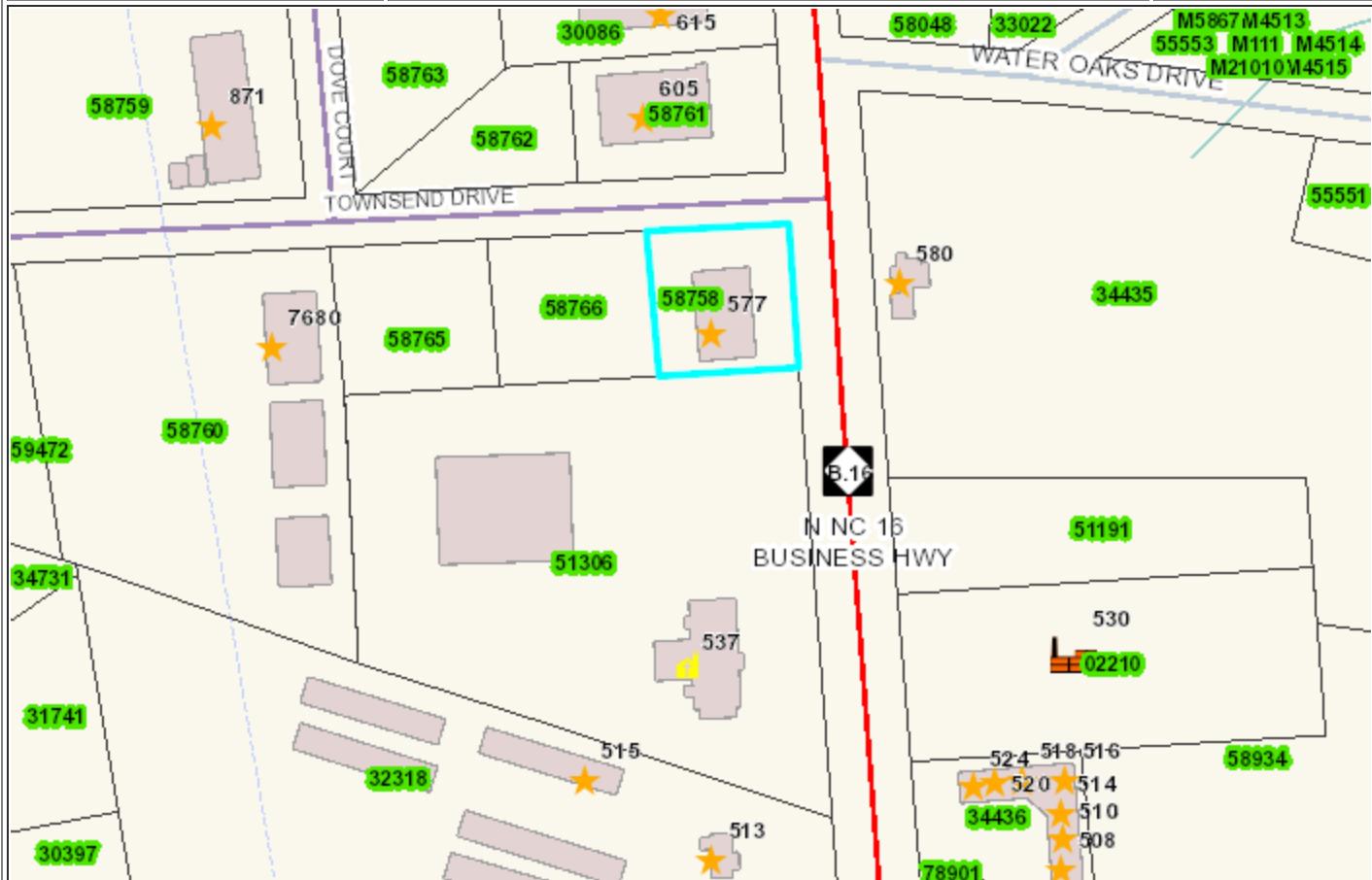




## Lincoln County, NC

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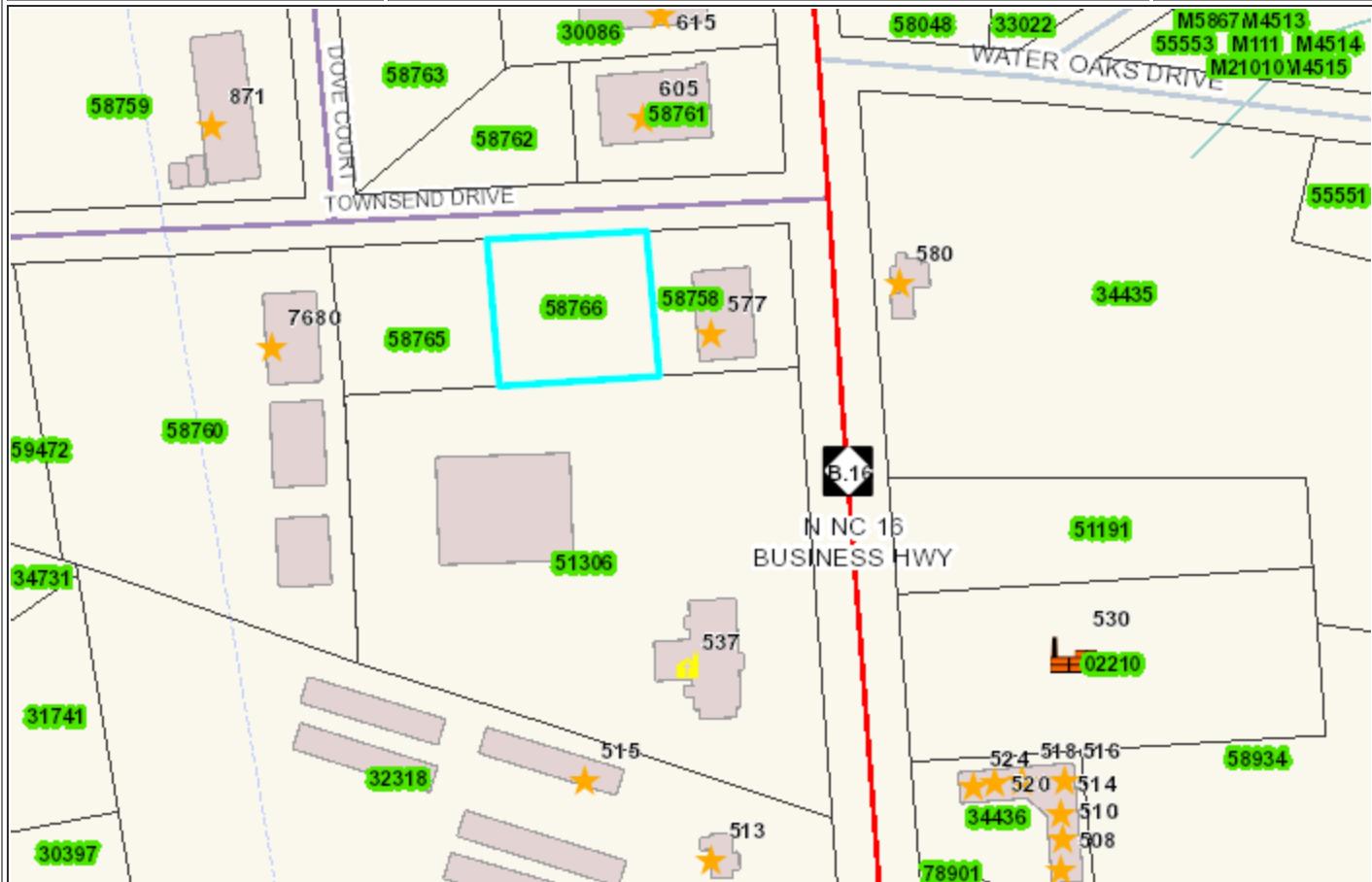
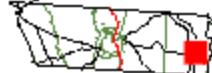
<b>Parcel ID</b>	58758	<b>Owner</b>	JUGIS PETER J BISHOP OF THE ROMAN CATHOLIC DIOCESE OF
<b>Map</b>	4602	<b>Mailing</b>	1123 S CHURCH ST
<b>Account</b>	0279749	<b>Address</b>	CHARLOTTE, NC 28023
<b>Deed</b>	2936 541	<b>Last Transaction Date</b>	08/07/2020
<b>Plat</b>	G 48	<b>Subdivision</b>	TRIANGLE BUSINESS PARK
<b>Land Value</b>	\$322,949	<b>Improvement Value</b>	\$283,468
			<b>Total Value</b>
			\$606,417
<b>Previous Parcel</b>			
<b>-----All values for Tax Year 2023 -----</b>			
<b>Description</b>	#14 TRIANGLE BUS. PARK	<b>Deed Acres</b>	0.79
<b>Address</b>	577 N NC 16 BUSINESS HWY	<b>Tax Acres</b>	0.674
<b>Township</b>	CATAWBA SPRINGS	<b>Tax/Fire District</b>	EAST LINCOLN
<b>Main Improvement</b>	SERVICE SHOP/OFFICE	<b>Value</b>	\$265,468
<b>Main Sq Feet</b>	6000	<b>Stories</b>	1
<b>Zoning District</b>	<b>Calc Acres</b>	<b>Voting Precinct</b>	<b>Calc Acres</b>
B-G	0.67	TA37	0.67
<b>Watershed</b>		<b>Sewer District</b>	
	0.67	SEWER	0.67
<b>Census County</b>		<b>Tract</b>	
109		071101	3019
<b>Flood</b>	<b>Zone Description</b>	<b>Panel</b>	0.67



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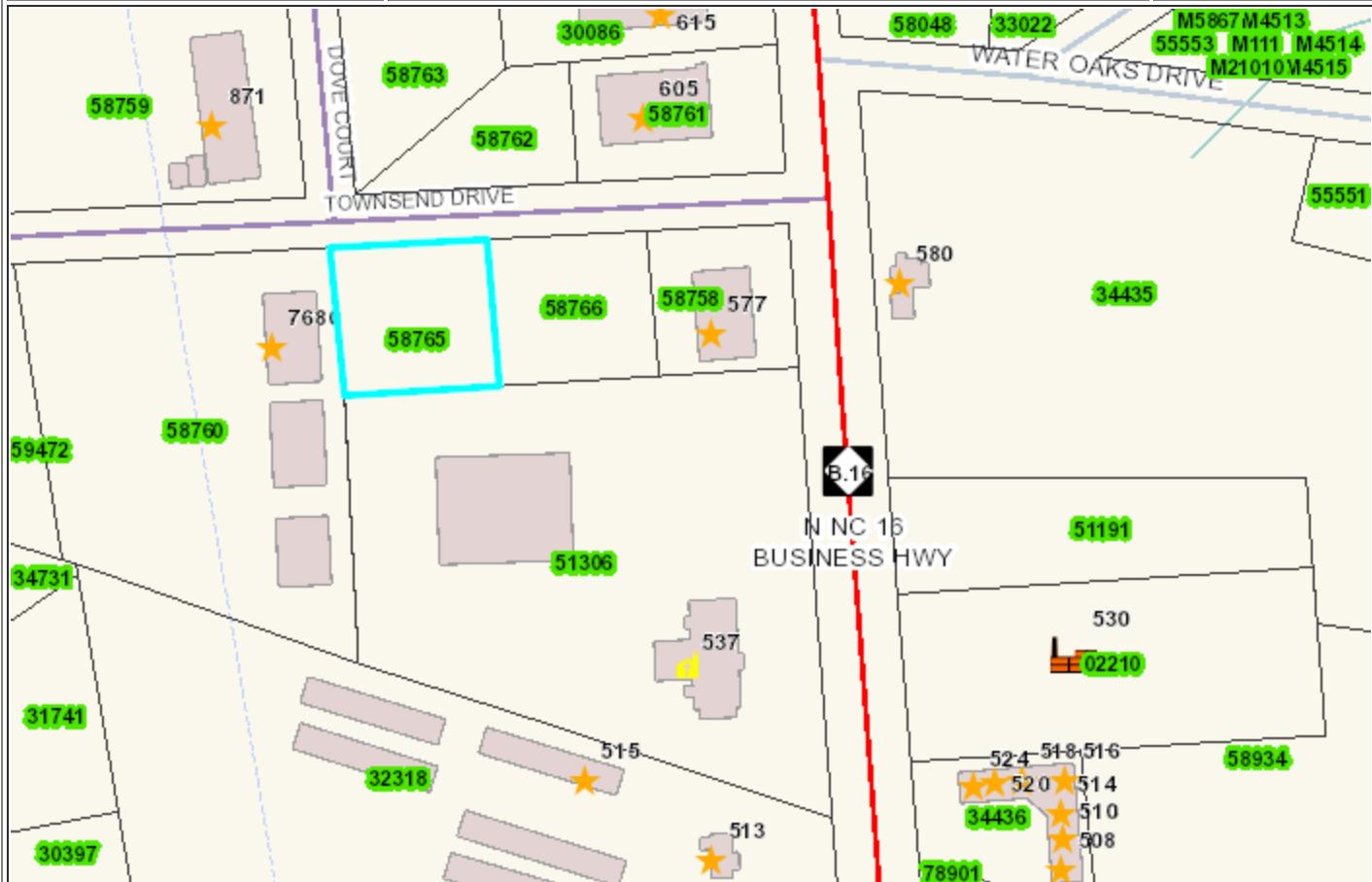
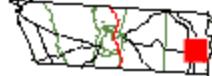
 <b>Photo Not Available</b>	<b>Parcel ID</b>	58766	<b>Owner</b>	ROMAN CATHOLIC DIOCESE OF CHARLOTTE NC
	<b>Map</b>	4602	<b>Mailing</b>	1123 S CHURCH STREET
	<b>Account</b>	0232880	<b>Address</b>	CHARLOTTE, NC 28203
	<b>Deed</b>	2249 103	<b>Last Transaction Date</b>	05/10/2011
	<b>Plat</b>	G 48	<b>Subdivision</b>	TRIANGLE BUSINESS PARK
	<b>Land Value</b>	\$125,940	<b>Improvement Value</b>	\$0
	<b>Total Value</b>	\$125,940		
	<b>Previous Parcel</b>			
	-----All values for Tax Year 2023 -----			
	<b>Description</b>	#13 TRIANGLE BUS. PARK		
<b>Address</b>		TOWNSEND DR		<b>Deed Acres</b> 0.77
<b>Township</b>		CATAWBA SPRINGS		<b>Tax Acres</b> 0.771
<b>Main Improvement</b>				EAST LINCOLN
<b>Main Sq Feet</b>		<b>Stories</b>		<b>Value</b>
<b>Zoning District</b>		<b>Calc Acres</b>		<b>Year Built</b>
B-G		0.77		
<b>Watershed</b>				
0.58				
0.2				
<b>Census County</b>		<b>Tract</b>	<b>Block</b>	
109		071101	3019	0.77
<b>Flood</b>	<b>Zone Description</b>	<b>Panel</b>		
X	NO FLOOD HAZARD	3710460200		
				0.77



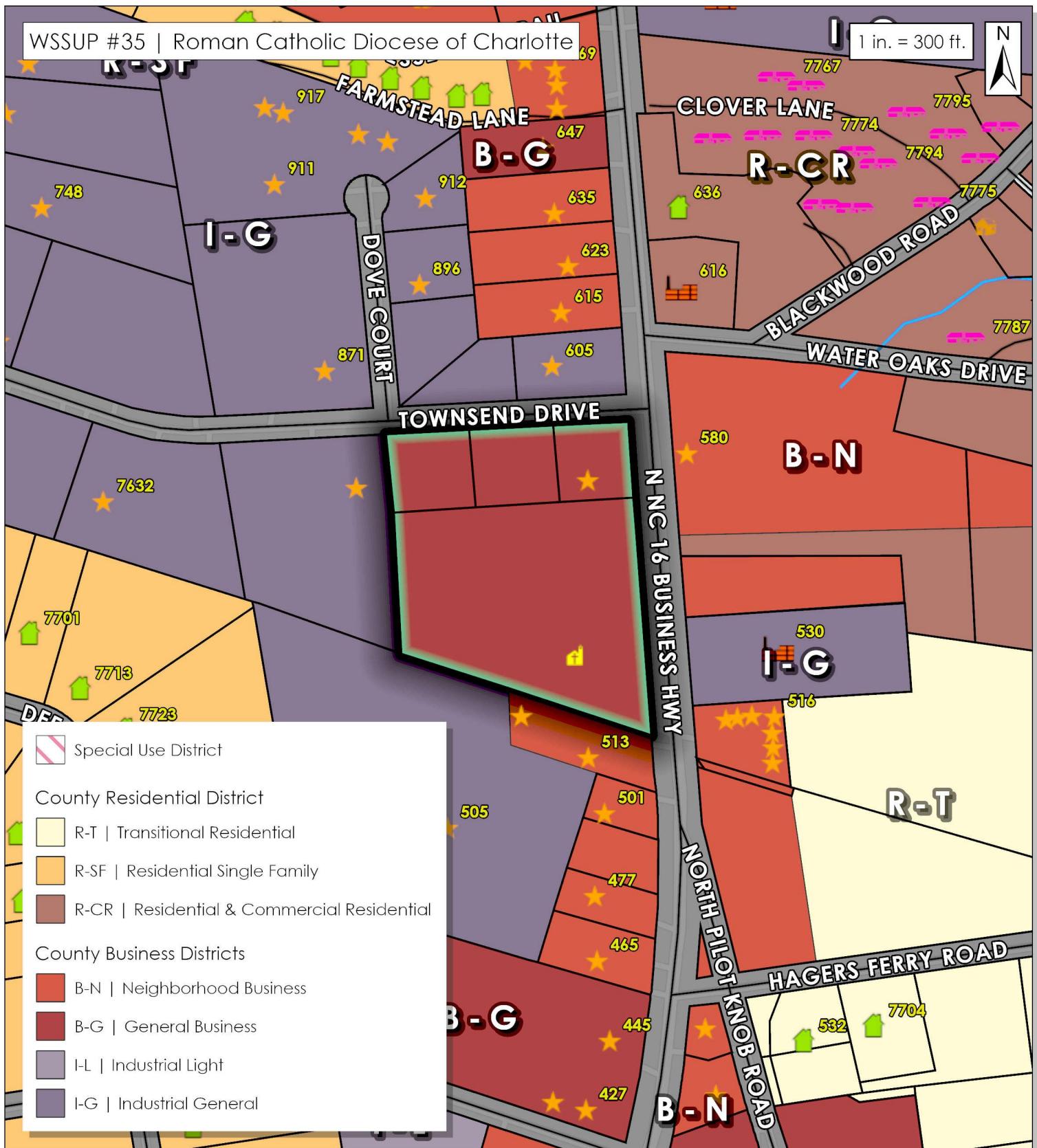
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 <b>Photo Not Available</b>	<b>Parcel ID</b>	58765	<b>Owner</b>	ROMAN CATHOLIC DIOCESE OF CHARLOTTE NC		
	<b>Map</b>	4602	<b>Mailing</b>	1123 S CHURCH STREET		
	<b>Account</b>	0232880	<b>Address</b>	CHARLOTTE, NC 28203		
	<b>Deed</b>	2249 103	<b>Last Transaction Date</b>	05/10/2011		
	<b>Plat</b>	G 48	<b>Subdivision</b>	TRIANGLE BUSINESS PARK		
	<b>Land Value</b>	\$124,308	<b>Improvement Value</b>	\$0		
	<b>Previous Parcel</b>	<b>-----All values for Tax Year 2023 -----</b>				
	<b>Description</b>	#12 TRIANGLE BUS. PARK				
	<b>Address</b>	TOWNSEND DR				
	<b>Township</b>	CATAWBA SPRINGS				
<b>Main Improvement</b>						
<b>Main Sq Feet</b>		<b>Stories</b>		<b>Deed Acres</b> 0.76		
<b>Zoning District</b>		<b>Voting Precinct</b>		<b>Tax Acres</b> 0.761		
B-G		TA37		EAST LINCOLN		
<b>Watershed</b>				<b>Value</b>		
0.76				<b>Year Built</b>		
<b>Census County</b>		<b>Tract</b>	<b>Block</b>			
109		071101	3019	0.76		
<b>Flood</b>	<b>Zone Description</b>	<b>Panel</b>				
X	NO FLOOD HAZARD	3710460200				



Parcel ID # 51306, 58758,  
58765, & 58766

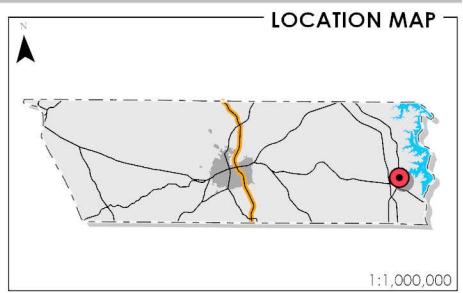
- Property Location(s)



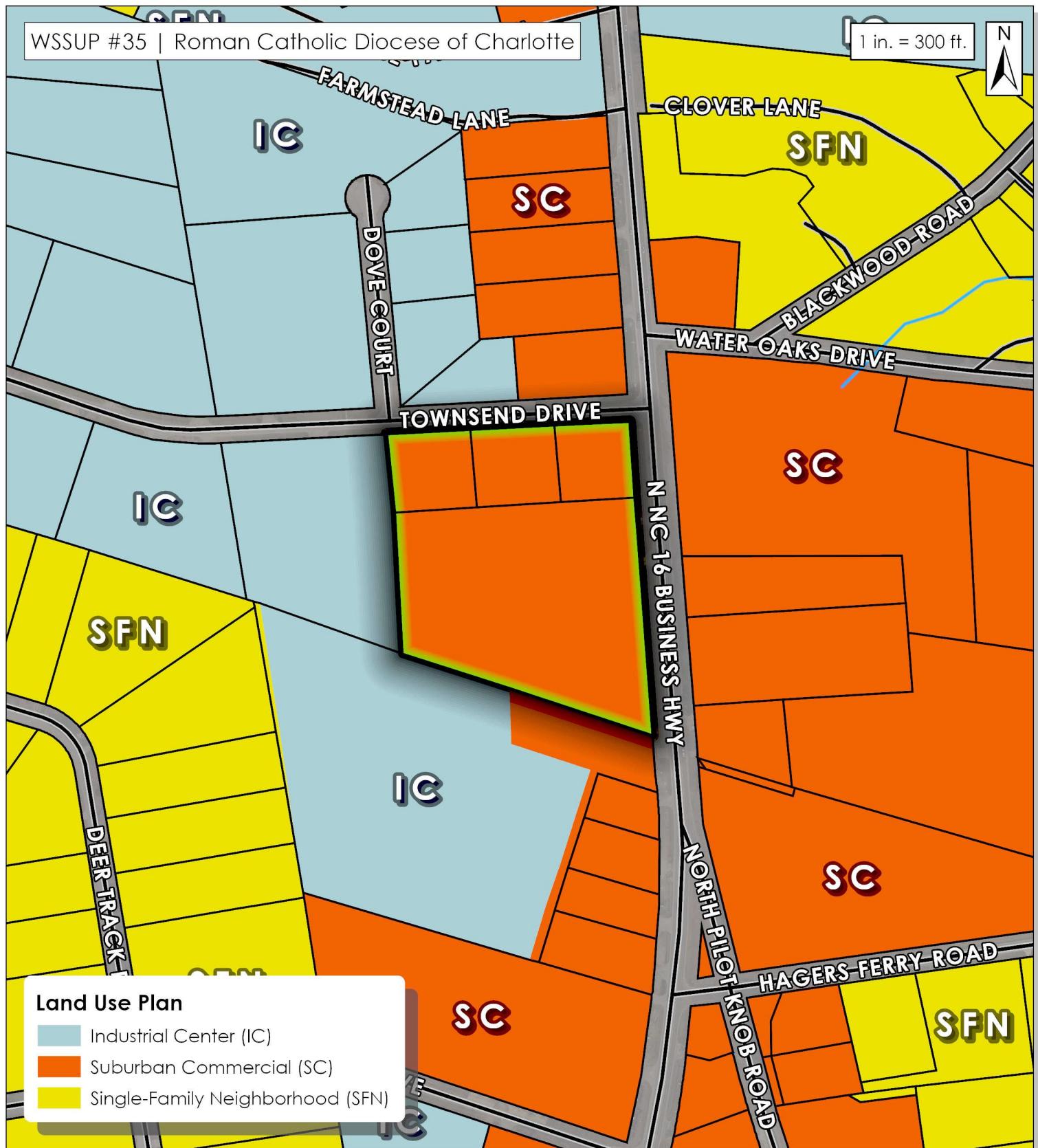
Lincoln County  
Planning & Inspections  
115 W. Main St  
3rd Floor  
Lincolnton, NC 28092

See Attached Application for Parcel Information

LOCATION MAP



Property Location(s)



Parcel ID # 51306, 58758,  
58765, & 58766

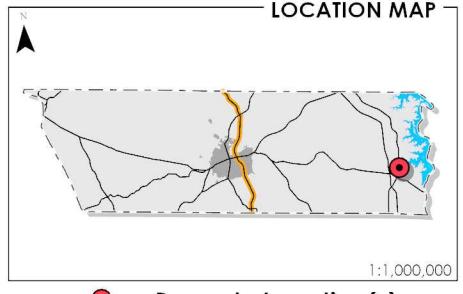
- Property Location(s)



Lincoln County  
Planning & Inspections  
115 W. Main St  
3rd Floor  
Lincolnton, NC 28092

See Attached Application for Parcel Information

LOCATION MAP



# Project Reviews

## Lincoln County

Project Number: ZONE23-00251

Description: Roman Catholic Diocese of Charlotte

Applied: 11/14/2023

Approved:

Site Address: 537 N NC 16 BUSINESS HWY

Closed:

Expired:

City, State Zip Code: ,

Status: RECEIVED

Applicant: ROMAN CATHOLIC DIOCESE OF

Parent Project:

Owner: ROMAN CATHOLIC DIOCESE OF

Contractor: <NONE>

Details:

### LIST OF REVIEWS

SENT DATE	RETURNED DATE	DUUE DATE	TYPE	CONTACT	STATUS	REMARKS
Review Group: AUTO						
11/14/2023		11/27/2023	ENVIRONMENTAL HEALTH ON-SITE PRE- APPLICATION	Jonathan Harris		

Notes:

This site is served by Lincoln County Public Utilities.

11/14/2023		11/27/2023	FIRE MARSHAL - COUNTY PRE-APPLICATION	Rodney Emmett		
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Notes:

Burl Shrum

FIRE MARSHAL - COUNTY PRE-APPLICATION

1. All pavement shall support vehicles weighting up to 75,000 lbs.
2. All travel paths shall be of sufficient clearance for a 45 ft. long emergency vehicle
3. All hydrants shall be yellow in color, have a 5 inch Storz connection on the steamer connection, have a min. 36 inches clearance around them both during and after construction, and no vertical construction shall begin until hydrants are in full operation and confirmed by the contractor.

10/10/2023 4:29:16 PM

Burl Shrum

FIRE MARSHAL - COUNTY PRE-APPLICATION

1. Hydrant shall be no further than 100 ft. from the FDC and have a 5 inch Storz connection on the steamer port, the FDC shall have a 5 inch Storz connection
2. All parking lot travel paths shall be min. 20 ft. wide and the islands shall be of a distance to allow for the operation of a 40 ft. long emergency vehicle.
3. Knox box shall be on the building
4. Driveway entrances shall be min. 26 ft. wide
5. Address numbers shall be 6 inches tall and visible from the street
6. All underground thrust blocks shall be observed by the fire marshal""s office before being covered

11/14/2023		11/27/2023	INSPECTIONS PRE- APPLICATION	Jeff Wesdyk		
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Notes:

All permits required per NC Building Code are to be submitted prior to commencement of work on the building.

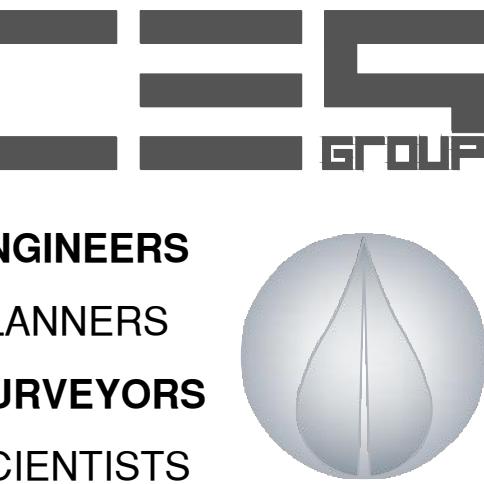
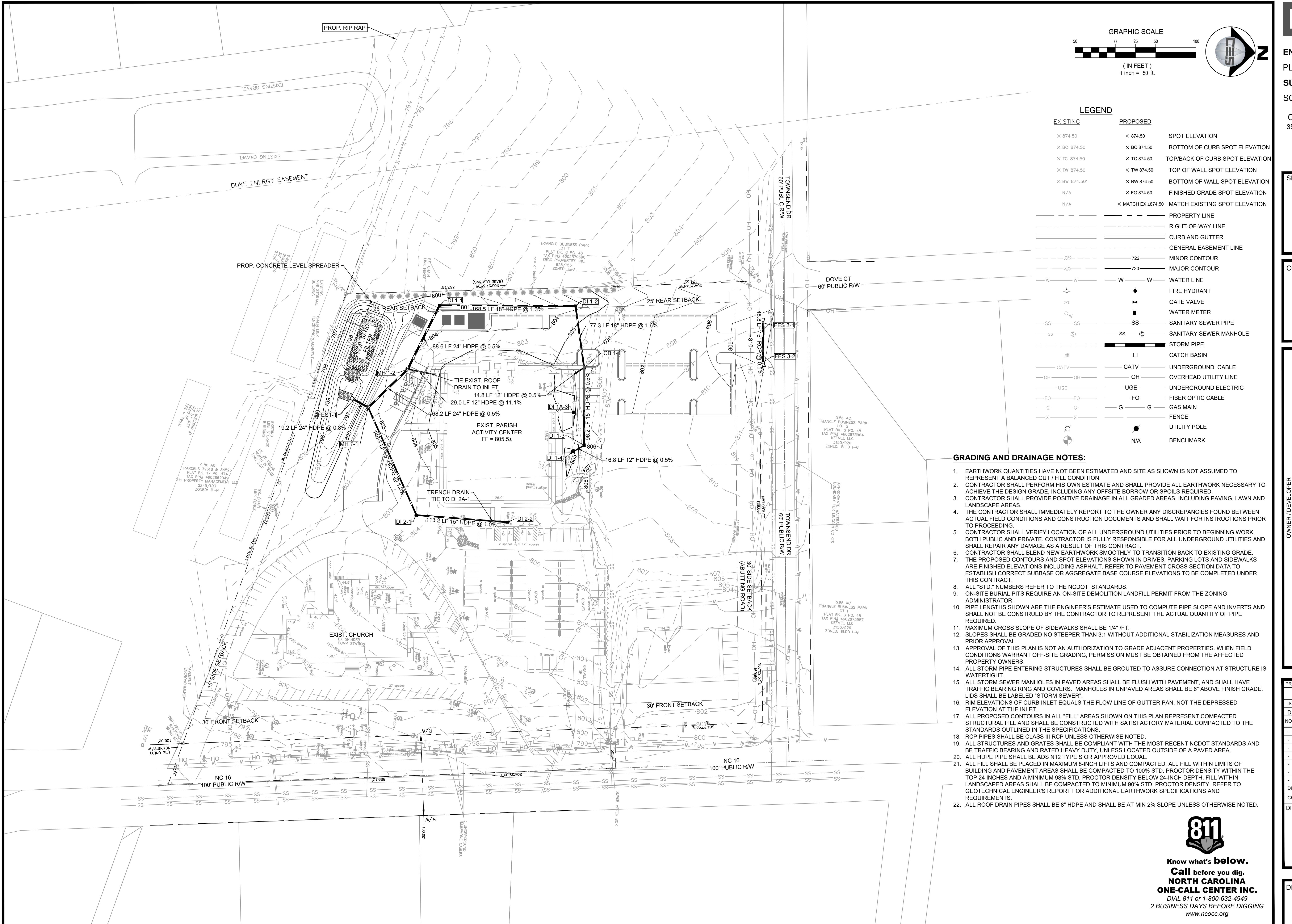
Any/all wall permits associated with stormwater structures must be completed prior to CO on the building.

# Project Reviews

## Lincoln County

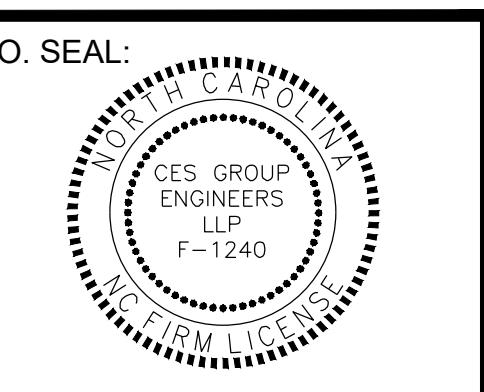
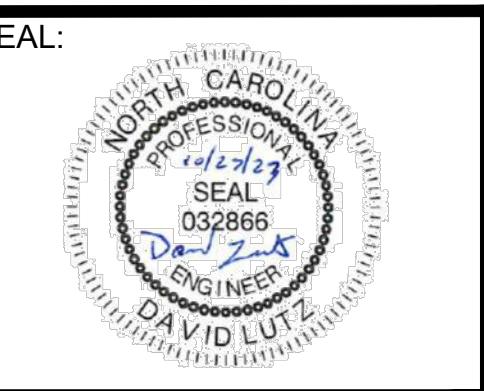
11/14/2023		11/27/2023	NATURAL RESOURCES PRE-APPLICATION	Danielle Rudisill		
<p>Notes:</p> <p>An Erosion Control Plan will be required for the project in accordance with all applicable state and local standards.</p> <p>Points of discharge must be within the site unless otherwise approved by the Director of the Lincoln County Natural Resources Department and adjoining owners.</p>						
11/14/2023		11/27/2023	NC DOT PRE-APPLICATION	Michael Watson		
<p>Notes:</p> <p>NC DOT driveway permits will be required in accordance with standard procedure.</p> <p>The driveway accesses proposed will likely improve the concentration of flow into and out of the site.</p>						
11/14/2023		11/27/2023	PUBLIC WORKS - COUNTY PRE-APPLICATION	Jonathan Drazenovich		
<p>Notes:</p> <p>The site is served by public water and sewer. The proposed use is acceptable to the current sewer service provided. Any or all updates upon completion of work will be coordinated/required through the traditional process.</p> <p>All stormwater structures shall be built outside of all LCUE areas and shall not infringe upon areas of maintenance.</p>						





ENGINEERS  
PLANNERS  
SURVEYORS  
SCIENTISTS

CES Group Engineers, LLP  
525 Whitehall Park Drive, Suite 150  
Charlotte, NC 28273  
PH: 704.489.1500  
[www.ces-group.net](http://www.ces-group.net)



ROMAN CATHOLIC DIOCESE OF CHARLOTTE  
(ATTN:EMMETT SAPP III)  
1123 SOUTH CHURCH STREET CHARLOTTE, NORTH CAROLINA 28203  
PHONE: 704.370.6299 EMAIL: EVSAPP@RCDDOC.ORG

PROJECT DESCRIPTION:

**HOLY SPIRIT CHURCH**

537 N NC 16 BUSINESS HWY

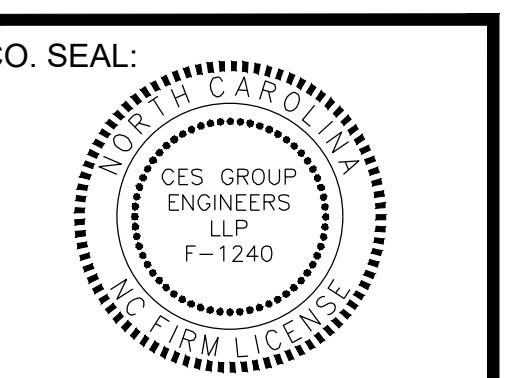
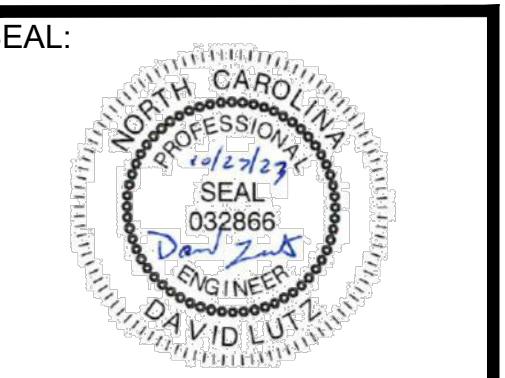
PROJECT NO:			
<b>8137.0423CD</b>			
SUE DATE: 10/27/2023			
DRAWING REVISIONS			
:	REVISION DESC.	DATE:	
	-	-	
	-	-	
	-	-	
	-	-	
	-	-	
	-	-	
	-	-	
	-	-	
DRAWN BY: CB		REVISED BY:	CB
CHECKED BY: DL		ISSUED BY:	CES
DRAWING TITLE			

# OVERALL PROPOSED GRADING PLAN



**Know what's below.  
Call before you dig.  
NORTH CAROLINA  
ONE-CALL CENTER INC.  
DIAL 811 or 1-800-632-4949  
TENNESSE DAYS BEFORE DIGGING  
[www.ncocc.org](http://www.ncocc.org)**

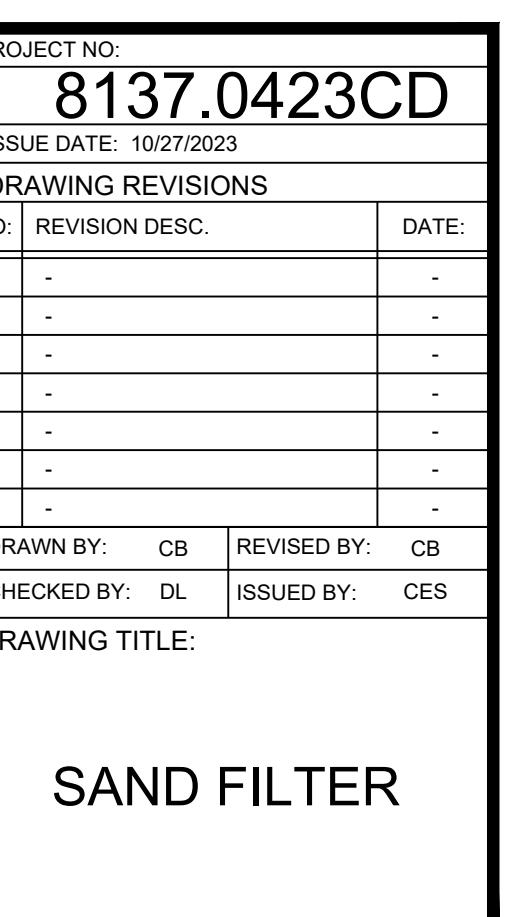
DRAWING NUMBER:  
**C4.0**



# HOLY SPIRIT CHURCH

ROMAN CATHOLIC DIOCESE OF CHARLOTTE  
(ATTN:EMMETT SAPP III)  
1123 SOUTH CHURCH STREET CHARLOTTE, NORTH CAROLINA 28203  
PHONE: 704.370.6299 EMAIL: EVSAPP@RCDOC.ORG

PROJECT DESCRIPTION:



RAWING NUMBER:  
**C4.3**

The logo for B11, featuring the number 11 in a large, bold, black font with a white outline. A registered trademark symbol (®) is located to the right of the 11. Below the 11 is a stylized, dark graphic element.

**Know what's below.**  
**Call before you dig.**  
**NORTH CAROLINA**  
**8-1-1 E-Call Center Inc.**  
**DIAL 811 or 1-800-632-4949**  
**BUSINESS DAYS BEFORE DIGGING**  
**WWW.NC811.ORG**

**NOTES:**

1. ALL SAND FILTERS SHALL HAVE A MINIMUM 20 FOOT ACCESS EASEMENT CONNECTING TO A DEDICATED PUBLIC RIGHT OF WAY. ACCESS ROAD SHALL HAVE MIN. 12' STABILIZED WIDTH, MAX. LONG. GRADE OF 15%, MAX. CROSS-SLOPE 5%. IN ADDITION, A 10-FOOT WIDE PERMANENT MAINTENANCE ACCESS EASEMENT MUST BE PROVIDED AROUND THE PERIMETER OF ALL BMPs TO ALLOW FOR ADEQUATE MAINTENANCE AND REPAIR.
2. ALL DRAINAGE AREAS TO A SAND FILTER FACILITY ARE TO BE STABILIZED PRIOR TO INSTALLATION OF SAND.
3. CLEAN OUTS IN THE UNDERDRAIN SYSTEM ARE TO BE PROVIDED EVERY 50' MINIMUM. CLEAN OUTS SHALL HAVE WATER TIGHT, VANDAL PROOF CAPS AND EXTEND 6" ABOVE THE SURFACE.
4. DEMONSTRATION OF APPROPRIATE SAFETY FACTORS AGAINST FAILURE THROUGH GEOTECHNICAL ANALYSIS BY A LICENSED PROFESSIONAL ENGINEER SHALL BE REQUIRED FOR EMBANKMENT SLOPES STEEPER THAN 3:1.
5. WATER-TIGHT SEAL MUST BE PROVIDED BETWEEN ALL RISER AND PIPE JOINT CONNECTIONS.

**PLAN VIEW**

**PROFILE VIEW**

**NOT TO SCALE**

GRAPHIC SCALE

20 0 10 20 40

( IN FEET )

1 inch = 20 ft

**DES**

X B/W 883.51	BOTTOM OF WALL SPOT ELEVATION
=====	CONCRETE CURB & GUTTER
-----	PROPERTY LINE
	CATCH BASIN / CURB INLET
=====	STORM DRAIN AND ENDWALL
SS -----	SANITARY SEWER
	SANITARY MANHOLE
 CO	CLEAN OUT
-----	WATER MAIN OR SERVICE LINE
-----	OVERHEAD UTILITY LINE
	FIRE HYDRANT
	GATE VALVE
	POWER POLE GUY AND ANCHOR
	CANOPY TREE TO REMAIN

# SURFACE SAND FILTE

This cross-sectional diagram illustrates a stormwater infiltration system. The top layer is a 6-inch thick layer of washed Bermuda sod. Below it is a 1.5' thick layer of clean washed ASTM C33 sand. A non-woven geotextile filter fabric is used to separate the sand from a 12-inch thick layer of washed No. 57 stone at the bottom. Two 4-inch Schedule 40 PVC pipes are installed: one as an underdrain sloping at 1.0% and another as a riser pipe sloping at 1.0% that connects to an inverted structure with inventory number 794.40. A proposed 4-inch Schedule 40 PVC cleanout is located at the top of the sand filter layer, 6 inches above the surface. The diagram also shows a proposed Schedule 40 PVC tee and elbow at the base of the sand filter layer.

# **SAND FILTER PROFIL**

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NOT TO SCALE

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## NOTES:

1. "CONCRETE" SAND REFERS TO SAND THAT IS COMMONLY USED IN CONCRETE MIXES.
2. CLAY-FREE SOD OVER SAND IN SAND FILTER BASINS (TYP.) REMAINING AREA OF BASIN TO RECEIVE TOPSOIL, SEED, AND MULCH.
3. ALL DRAINAGE AREAS TO A SAND FILTER FACILITY ARE TO BE STABILIZED PRIOR TO INSTALLATION OF SAND.
4. UNDERDRAIN PIPES SHOULD BE MIN. 6" PERFORATED SCHEDULE 40 PVC (PER AASHTO M278) OR DOUBLE WALL HDPE (PER AASHTO M252). PERFORATIONS SHOULD BE  $\frac{3}{8}$ " SPACED 3" ON CENTER ALONG 4 LONGITUDINAL ROWS SPACED 90° APART.

The diagram illustrates a cross-section of a drainage system. At the top, a layer of 'WASHED BERMUDA SOD' is shown with a textured pattern. Below it is a 'NON-WOVEN GEOTEXTILE FILTER FABRIC' layer with a dotted pattern. The main body of the diagram is a 'CLEAN ASTM C33 D FILTERAYER' with a stippled pattern. At the bottom, a '12" WASHED NO. 57 STONE' layer is shown with a textured pattern. A circular 'PERFORATED SCHEDULE 40 PVC UNDERDRAIN PIPE' is embedded in the stone layer. A 'NON-WOVEN GEOTEXTILE FILTER FABRIC' layer is also present in the stone layer. The bottom of the diagram shows a slope. A vertical arrow on the left indicates the height of the 'CLEAN ASTM C33 D FILTERAYER'. A horizontal line with arrows at both ends is labeled 'TYPICAL SECTION'.

WASHED BERMUDA SOD

NON-WOVEN GEOTEXTILE FILTER FABRIC

CLEAN ASTM C33 D FILTERAYER

12" WASHED NO. 57 STONE

TYPICAL SECTION

NON-WOVEN GEOTEXTILE FILTER FABRIC

2 - 4" PERFORATED SCHEDULE 40 PVC UNDERDRAIN PIPES @ MINIMUM 0.5% SLOPE. PERFORATIONS SHALL BE PER AASHTO M278.

## SURFACE SAND FILTER SECTION