



PLANNING & INSPECTIONS DEPARTMENT

Joshua L. Grant, Manager

To: Board of Commissioners

From: Joshua L. Grant, Manager

Date: November 14, 2023

Re: WSSUP #35  
Roman Catholic Diocese of Charlotte, applicant

Parcel ID# 51306, 58758, 58766, 58765

*The following information is for use by the Lincoln County Board of Commissioners at their meeting/public hearing on December 4, 2023.*

Request

The applicant is requesting a watershed special use permit to use the high-density option in the Catawba River/Lake Norman WS-IV Protected Area. The applicant is proposing to develop a 7.642-acre site for a 16,000-square-foot building for a new sanctuary to expand capacity to more than 500 seats, not to exceed 1000 seats. The high-density option would allow the development to have a built-upon surface area covering up to 70 percent of the site, with the use of engineered stormwater controls. Otherwise, in this watershed district, non-residential developments that require an erosion control plan are limited to a built-upon area of 36 percent. In this case, a built-upon area of approximately 62 percent is proposed.

Site Area and Description

The subject property is located on the west side of N.C. 16 Business at the intersection of Townsend Drive in Catawba Springs Township. The subject property is zoned B-G (General Business); the property is also located in the ELDD (Eastern Lincoln Development District) overlay. The property is adjoined by property zoned I-G (General Industrial) and B-G (General Business) (Residential-Single Family). Land uses in this area include business, industrial and institutional uses. This property is part of an area designated by the Lincoln County Land Use Plan as Suburban Commercial.



## PLANNING & INSPECTIONS DEPARTMENT

Joshua L. Grant, Manager

### High-Density Option Requirements

Under the water-supply watershed regulations of the Lincoln County Unified Development Ordinance, the Catawba River/Lake Norman watershed is designated for the use of the high-density option. The option requires the use of stormwater control structures to control and treat the runoff from the first one-inch of rain. The structures must be designed to meet the Best Management Practices (BMP) standards of the N.C. Department of Environmental Quality. In this case, the plans call for the use of two sand filters. The proposed plans have been reviewed by the county engineer.

The regulations require the developer to post a bond or other financial security in an amount not less than 1.25 times the cost of constructing the necessary stormwater control structure. In addition, a binding agreement must be signed, requiring the owner to maintain, repair and, if necessary, reconstruct the structure in accordance with an approved operations and maintenance plan. Once the stormwater control structure has been constructed and inspected, and prior to the release of the financial security, the applicant is required to deposit with the county either cash or a similar approved instrument in an amount equal to 15 percent of the total construction cost or 100 percent of the cost of maintaining the structure over a 20-year period, whichever is greater.



## **Watershed Special Use Permit Application**

Lincoln County Planning and Inspections Department

Zoning Administrator

115 W. Main St., Lincolnton, NC 28092

Phone: (704) 736-8440 Fax: (704) 732-9010

### **PART I**

Applicant Name Roman Catholic Diocese of Charlotte

Applicant Address 1123 South Church Street, Charlotte, NC 28203

Applicant Phone Number 704.370.6299

Property Owner Name Roman Catholic Diocese of Charlotte

Property Owner Address 1123 South Church Street, Charlotte, NC 28203

Property Owner Phone Number 704.370.6299

### **PART II**

Property Location 537 N NC 16 Business Hwy, Denver, NC 28037

4602674730, 4602672740

Property ID (10 digits) 4602674359, 4602676711 Property size 7.642 ac

Parcel # (5 digits) 51306, 58758, 58766, 58765 Deed Book(s) 691 Page(s) 545

2249 103

2936 542

### **PART III**

Watershed District WS-IVC

Briefly describe how the property is being used and any existing structures.

Existing church with associated parking and drives

Briefly describe the proposed project and the why it would require a Watershed Conditional Use Permit.

The proposed project will replace the existing church and provide new parking and drives

within the WS-IVC watershed area. Existing impervious has been in place prior to 1/1/94.

**\$1,000.00 APPLICATION FEE MUST BE RECEIVED BEFORE PROCESSING.**

*I hereby certify that all knowledge of the information provided for this application and attachments is true and correct to the best of my knowledge.*

Applicant's Signature

Date

10/17/23

Application # \_\_\_\_\_ Date \_\_\_\_\_

Applicant's Name Roman Catholic Diocese of Charlotte

Applicant's Address 1123 South Church Street, Charlotte, NC 28203

Property Location 537 N NC 16 Business Hwy, Existing Zoning ELDD B-G  
Denver, NC 28037 (General Business)

Proposed Special Use Same use of church with 500-1,000 seats

### **PROPOSED FINDINGS OF FACT**

1. The use will not materially endanger the public health or safety if located where proposed and developed according to plan. YES \_\_\_\_\_ NO X

FACTUAL REASONS CITED: No change in use and minimal change  
in overall seating capacity.

2. The use meets all required conditions and specifications. YES X NO \_\_\_\_\_

FACTUAL REASONS CITED: All setbacks and buffers being met.

3. The use will not substantially injure the value of adjoining or abutting property unless the use is a public necessity. YES \_\_\_\_\_ NO X

FACTUAL REASONS CITED: Same use and approximately same  
seating capacity.

4. The location and character of use, if developed according to the plan as submitted and approved, will be in harmony with the area in which it is to be located and will be in general conformity with the Land Use Plan for the area in question. YES X NO \_\_\_\_\_

FACTUAL REASONS CITED: Proposed use will meet all development  
guidelines, in addition to any applicable guidelines  
required by the ELDD overlay.

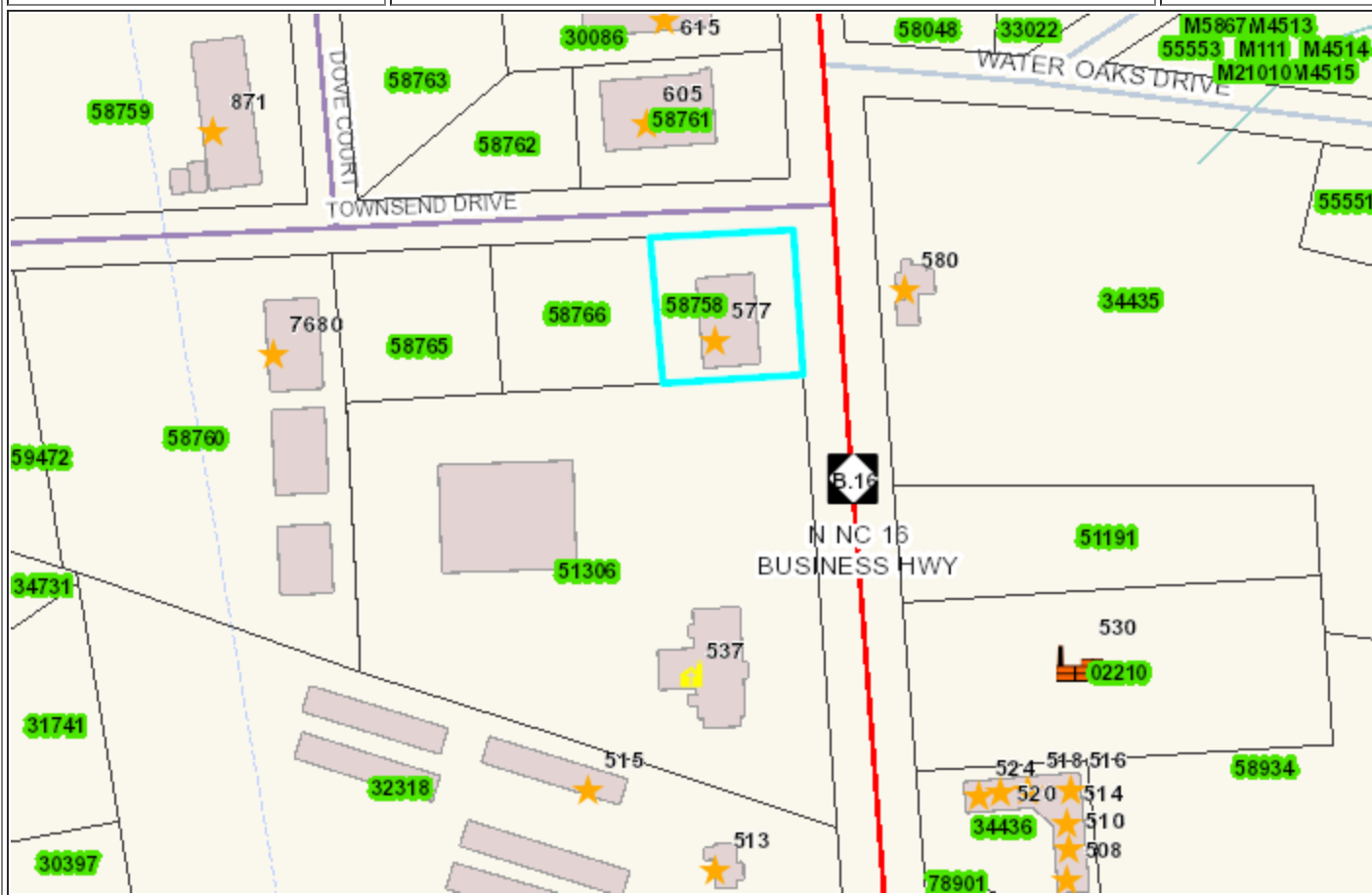




|   |                          |                              |                                     |                    |             |
|---|--------------------------|------------------------------|-------------------------------------|--------------------|-------------|
| <b>Parcel ID</b>                        | 51306                    | <b>Owner</b>                 | ROMAN CATHOLIC DIOCESE OF CHARLOTTE |                    |             |
| <b>Map</b>                              | 4602                     | <b>Mailing</b>               | 1123 S CHURCH ST                    |                    |             |
| <b>Account</b>                          | 38274                    | <b>Address</b>               | CHARLOTTE, NC 28203                 |                    |             |
| <b>Deed</b>                             | 691 544                  | <b>Last Transaction Date</b> | 01/01/1992                          | <b>Sale Price</b>  | \$0         |
| <b>Plat</b>                             |                          | <b>Subdivision</b>           |                                     | <b>Lot</b>         |             |
| <b>Land Value</b>                       | \$1,110,210              | <b>Improvement Value</b>     | \$4,617,507                         | <b>Total Value</b> | \$5,727,717 |
| <b>Previous Parcel</b>                  |                          |                              |                                     |                    |             |
| -----All values for Tax Year 2023 ----- |                          |                              |                                     |                    |             |
| <b>Description</b>                      | HWY 16/EXEMPT PROP       |                              |                                     | <b>Deed Acres</b>  | 6.14        |
| <b>Address</b>                          | 537 N NC 16 BUSINESS HWY |                              |                                     | <b>Tax Acres</b>   | 5.436       |
| <b>Township</b>                         | CATAWBA SPRINGS          |                              | <b>Tax/Fire District</b>            | EAST LINCOLN       |             |
| <b>Main Improvement</b>                 | CHURCH                   |                              |                                     | <b>Value</b>       | \$1,363,768 |
| <b>Main Sq Feet</b>                     | 9396                     | <b>Stories</b>               | 1                                   | <b>Year Built</b>  | 1970        |
| <b>Zoning District</b>                  | <b>Calc Acres</b>        |                              | <b>Voting Precinct</b>              | <b>Calc Acres</b>  |             |
| B-G                                     | 5.44                     |                              | TA37                                | 5.44               |             |
| <b>Watershed</b>                        |                          |                              | <b>Sewer District</b>               |                    |             |
|   | 3.28                     |                              | SEWER                               | 5.44               |             |
|   | 2.16                     |                              |                                     |                    |             |
| <b>Census County</b>                    |                          | <b>Tract</b>                 | <b>Block</b>                        |                    |             |
| 109                                     |                          | 071101                       | 3020                                | 0.54               |             |
| 109                                     |                          | 071101                       | 3019                                | 4.9                |             |
| <b>Flood</b>                            | <b>Zone Description</b>  |                              | <b>Panel</b>                        |                    |             |
| X                                       | NO FLOOD HAZARD          |                              | 3710460200                          | 5.44               |             |



**Lincoln County, NC**  
**Office of the Tax Administrator, GIS Mapping Division**  
 Lincoln County and its mapping contractors assume no legal responsibility for the information contained on this map. This map is not to be used for land conveyance. The map is based on NC State Plane Coordinate System 1983 NAD.  
 Date: 11/14/2023



|   |                          |                              |   |                               |
|---|--------------------------|------------------------------|---|-------------------------------|
| <b>Parcel ID</b>                        | 58758                    | <b>Owner</b>                 | JUGIS PETER J BISHOP OF THE ROMAN CATHOLIC DIOCESE OF |                               |
| <b>Map</b>                              | 4602                     | <b>Mailing</b>               | 1123 S CHURCH ST                                      |                               |
| <b>Account</b>                          | 0279749                  | <b>Address</b>               | CHARLOTTE, NC 28023                                   |                               |
| <b>Deed</b>                             | 2936 541                 | <b>Last Transaction Date</b> | 08/07/2020  | <b>Sale Price</b> \$1,000,000 |
| <b>Plat</b>                             | G 48                     | <b>Subdivision</b>           | TRIANGLE BUSINESS PARK                                | <b>Lot</b> 14                 |
| <b>Land Value</b>                       | \$322,949                | <b>Improvement Value</b>     | \$283,468   | <b>Total Value</b> \$606,417  |
| <b>Previous Parcel</b>                  |                          |                              |   |                               |
| -----All values for Tax Year 2023 ----- |                          |                              |   |                               |
| <b>Description</b>                      | #14 TRIANGLE BUS. PARK   |                              |   | <b>Deed Acres</b> 0.79        |
| <b>Address</b>                          | 577 N NC 16 BUSINESS HWY |                              |   | <b>Tax Acres</b> 0.674        |
| <b>Township</b>                         | CATAWBA SPRINGS          |                              |   | <b>Value</b> \$265,468        |
| <b>Main Improvement</b>                 | SERVICE SHOP/OFFICE      |                              |   | <b>Year Built</b> 1995        |
| <b>Main Sq Feet</b>                     | 6000                     | <b>Stories</b>               | 1   |                               |
| <b>Zoning District</b>                  | Calc Acres               | <b>Voting Precinct</b>       | Calc Acres  |                               |
| B-G                                     | 0.67                     | TA37                         | 0.67  |                               |
| <b>Watershed</b>                        | 0.67                     | <b>Sewer District</b>        | SEWER   | 0.67                          |
| <b>Census County</b>                    | 109                      | <b>Tract</b>                 | 071101  | <b>Block</b> 3019             |
| <b>Flood</b>                            | <b>Zone Description</b>  |                              |   | <b>Panel</b>                  |



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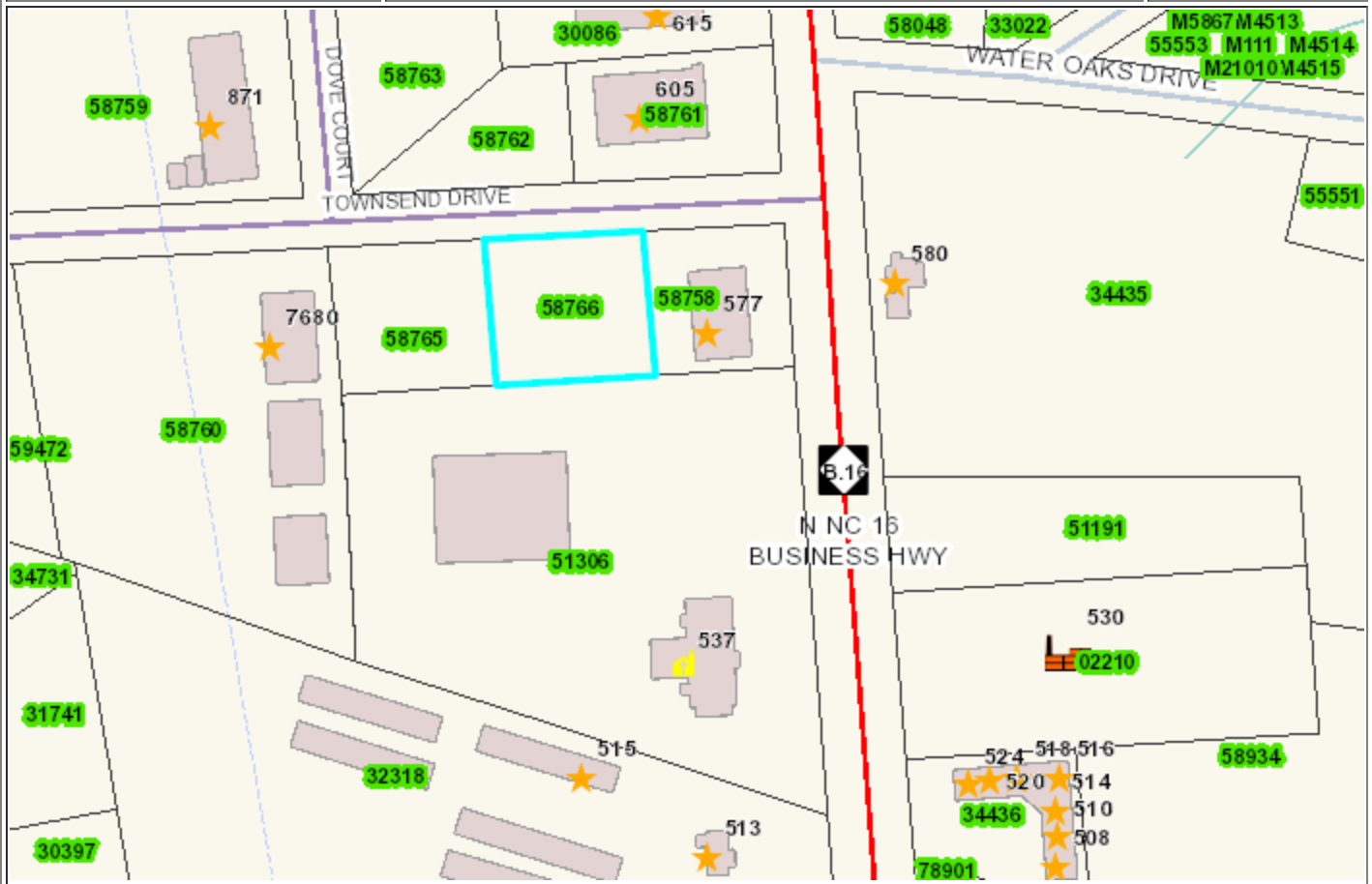


Photo Not Available

|   |                         |                              |  |                          |              |
|---|-------------------------|------------------------------|--|--------------------------|--------------|
| <b>Parcel ID</b>                        | 58766                   | <b>Owner</b>                 | ROMAN CATHOLIC DIOCESE OF CHARLOTTE NC |                          |              |
| <b>Map</b>                              | 4602                    | <b>Mailing</b>               | 1123 S CHURCH STREET                   |                          |              |
| <b>Account</b>                          | 0232880                 | <b>Address</b>               | CHARLOTTE, NC 28203                    |                          |              |
| <b>Deed</b>                             | 2249 103                | <b>Last Transaction Date</b> | 05/10/2011                             | <b>Sale Price</b>        | \$180,000    |
| <b>Plat</b>                             | G 48                    | <b>Subdivision</b>           | TRIANGLE BUSINESS PARK                 | <b>Lot</b>               | 13           |
| <b>Land Value</b>                       | \$125,940               | <b>Improvement Value</b>     | \$0                                    | <b>Total Value</b>       | \$125,940    |
| <b>Previous Parcel</b>                  |                         |                              |  |                          |              |
| -----All values for Tax Year 2023 ----- |                         |                              |  |                          |              |
| <b>Description</b>                      | #13 TRIANGLE BUS. PARK  |                              |  | <b>Deed Acres</b>        | 0.77         |
| <b>Address</b>                          | TOWNSEND DR             |                              |  | <b>Tax Acres</b>         | 0.771        |
| <b>Township</b>                         | CATAWBA SPRINGS         |                              |  | <b>Tax/Fire District</b> | EAST LINCOLN |
| <b>Main Improvement</b>                 |                         |                              | <b>Value</b>                           |                          |              |
| <b>Main Sq Feet</b>                     |                         | <b>Stories</b>               | <b>Year Built</b>                      |                          |              |
| <b>Zoning District</b>                  | <b>Calc Acres</b>       | <b>Voting Precinct</b>       |  | <b>Calc Acres</b>        |              |
| B-G                                     | 0.77                    | TA37                         |  | 0.77                     |              |
| <b>Watershed</b>                        |                         | <b>Sewer District</b>        |  |                          |              |
| 0.58                                    |                         | SEWER                        |  | 0.77                     |              |
| 0.2                                     |                         |                              |  |                          |              |
| <b>Census County</b>                    |                         | <b>Tract</b>                 | <b>Block</b>                           |                          |              |
| 109                                     |                         | 071101                       | 3019                                   | 0.77                     |              |
| <b>Flood</b>                            | <b>Zone Description</b> |                              | <b>Panel</b>                           |                          |              |
| X                                       | NO FLOOD HAZARD         |                              | 3710460200                             | 0.77                     |              |



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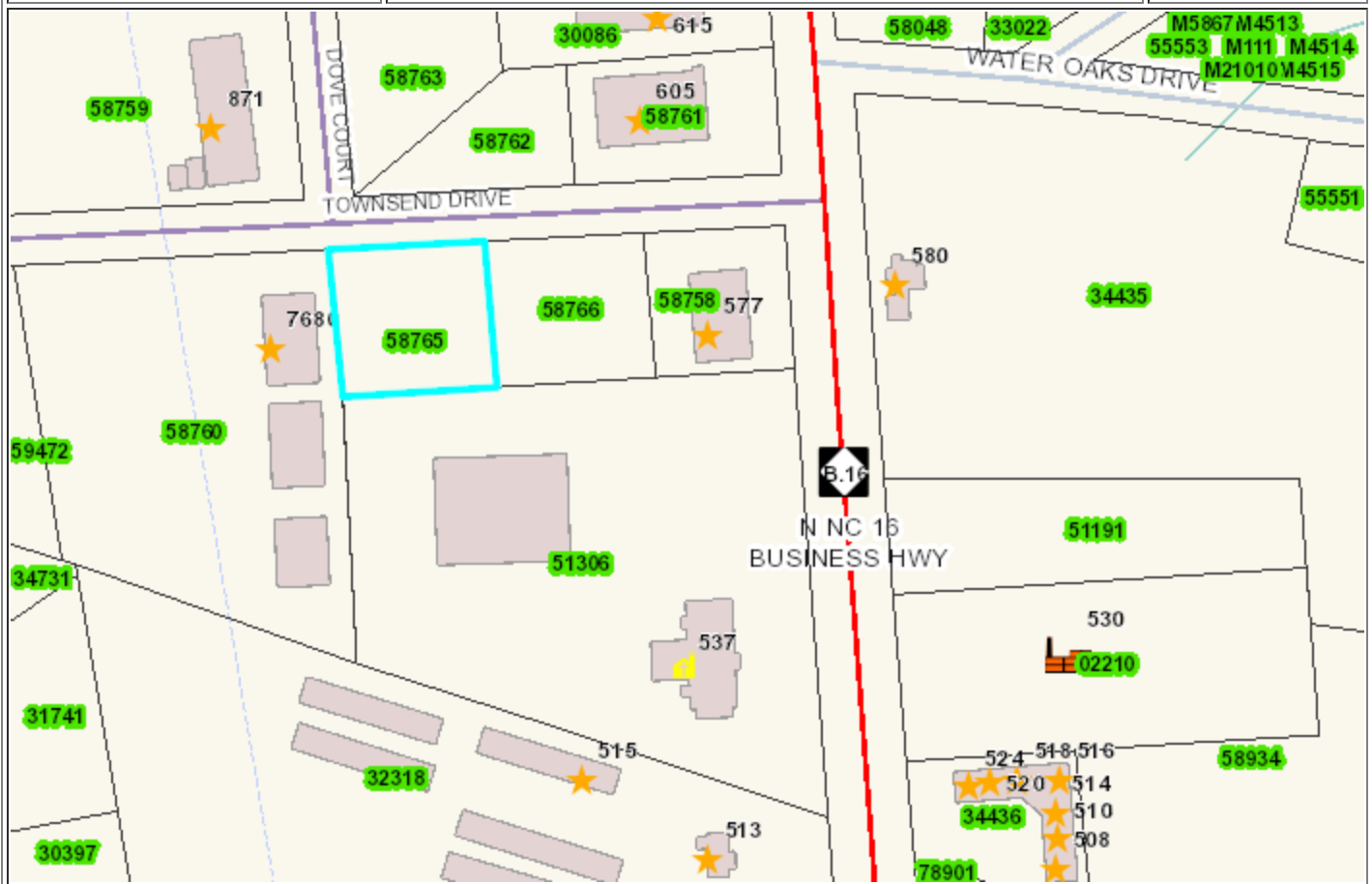
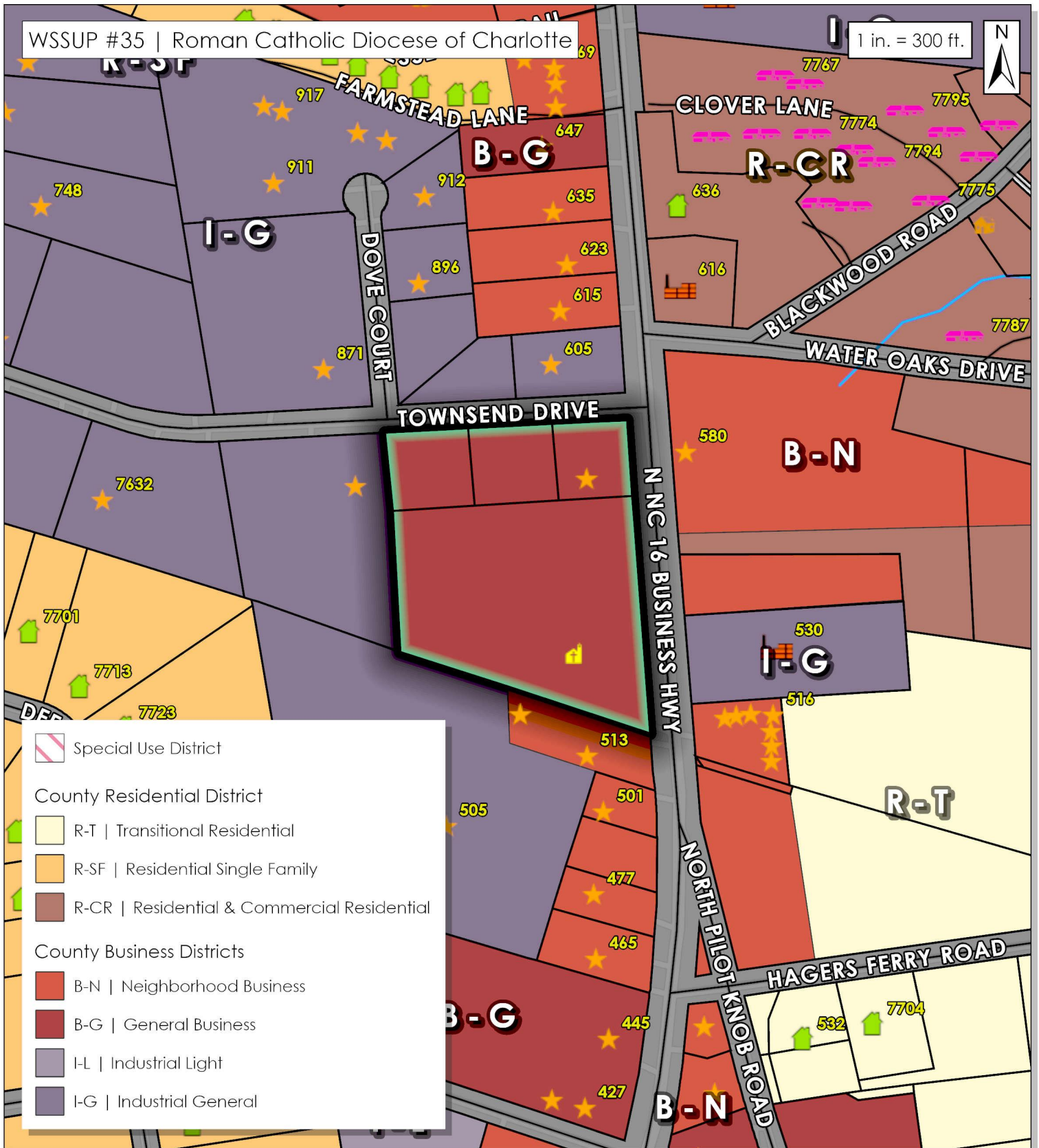










Photo Not  
Available

|  |                        |                              |  |                              |
|--|------------------------|------------------------------|--|------------------------------|
| <b>Parcel ID</b>                               | 58765                  | <b>Owner</b>                 | ROMAN CATHOLIC DIOCESE OF CHARLOTTE NC |                              |
| <b>Map</b>                                     | 4602                   | <b>Mailing</b>               | 1123 S CHURCH STREET                   |                              |
| <b>Account</b>                                 | 0232880                | <b>Address</b>               | CHARLOTTE, NC 28203                    |                              |
| <b>Deed</b>                                    | 2249 103               | <b>Last Transaction Date</b> | 05/10/2011                             | <b>Sale Price</b> \$180,000  |
| <b>Plat</b>                                    | G 48                   | <b>Subdivision</b>           | TRIANGLE BUSINESS PARK                 | <b>Lot</b> 12                |
| <b>Land Value</b>                              | \$124,308              | <b>Improvement Value</b>     | \$0                                    | <b>Total Value</b> \$124,308 |
| <b>Previous Parcel</b>                         |                        |                              |  |                              |
| <b>-----All values for Tax Year 2023 -----</b> |                        |                              |  |                              |
| <b>Description</b>                             | #12 TRIANGLE BUS. PARK |                              |  | <b>Deed Acres</b> 0.76       |
| <b>Address</b>                                 | TOWNSEND DR            |                              |  | <b>Tax Acres</b> 0.761       |
| <b>Township</b>                                | CATAWBA SPRINGS        |                              |  | <b>EAST LINCOLN</b>          |
| <b>Main Improvement</b>                        |                        |                              |  | <b>Value</b>                 |
| <b>Main Sq Feet</b>                            | <b>Stories</b>         |                              |  | <b>Year Built</b>            |
| <b>Zoning District</b>                         | Calc Acres             | <b>Voting Precinct</b>       |  | Calc Acres                   |
| B-G  | 0.76                   | TA37                         |  | 0.76                         |
| <b>Watershed</b>                               | 0.76                   | <b>Sewer District</b>        |  | SEWER 0.76                   |
| <b>Census County</b>                           | 109                    | <b>Tract</b>                 | 071101                                 | <b>Block</b> 3019 0.76       |
| <b>Flood</b>                                   | X                      | <b>Zone Description</b>      | NO FLOOD HAZARD                        |                              |
|  |                        | <b>Panel</b>                 | 3710460200                             | 0.76                         |



-  Special Use District
- County Residential District
  -  R-T | Transitional Residential
  -  R-SF | Residential Single Family
  -  R-CR | Residential & Commercial Residential
- County Business Districts
  -  B-N | Neighborhood Business
  -  B-G | General Business
  -  I-L | Industrial Light
  -  I-G | Industrial General

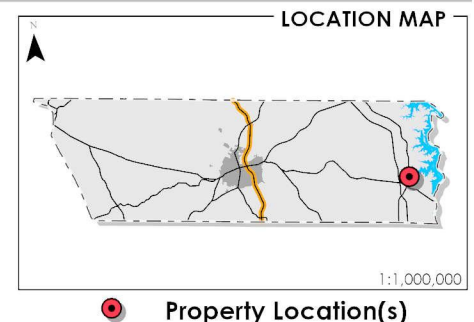


Parcel ID # 51306, 58758,  
58765, & 58766

 - Property Location(s)

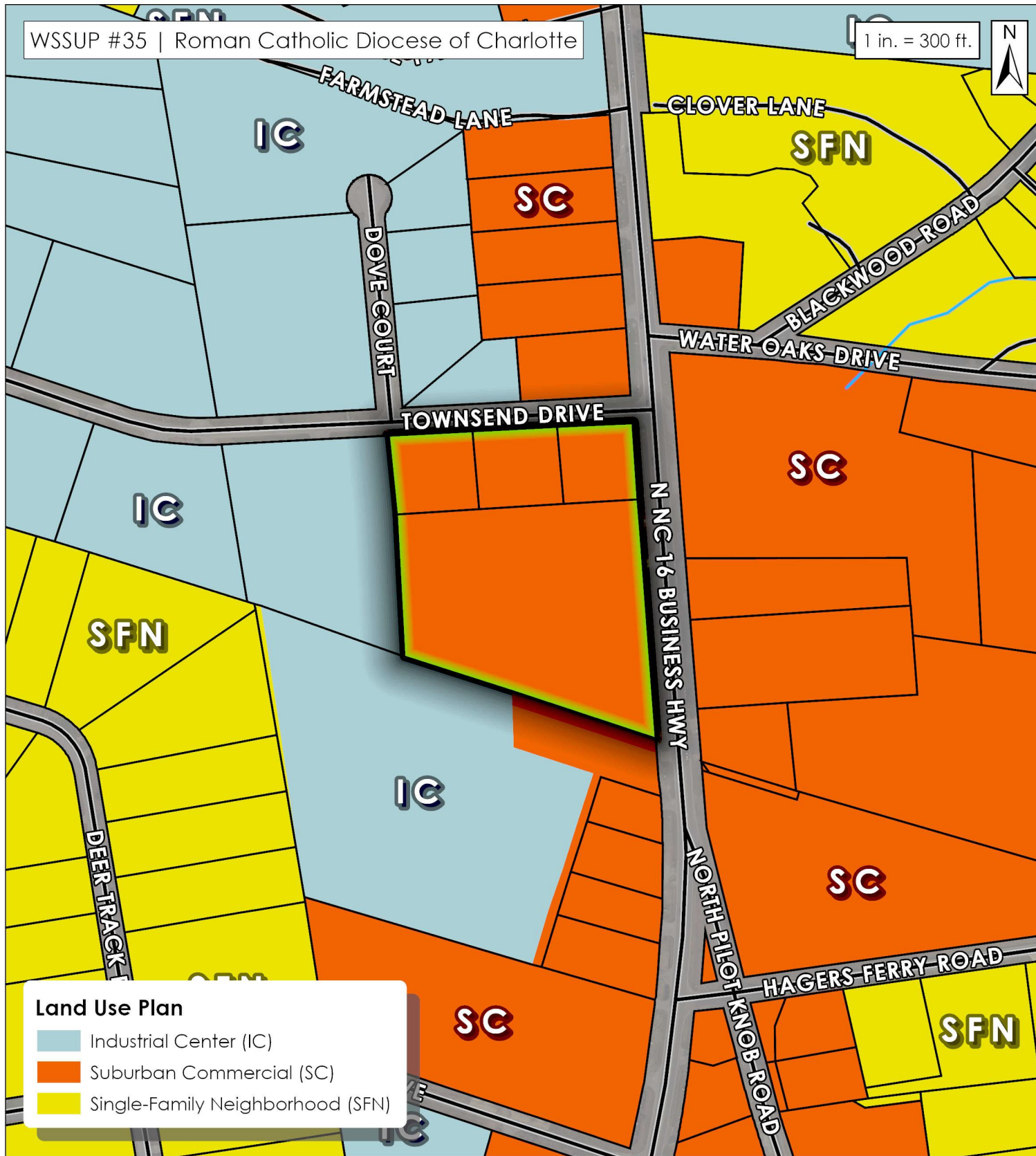
See Attached Application for Parcel Information

Lincoln County  
Planning & Inspections  
115 W. Main St  
3rd Floor  
Lincolnton, NC 28092



 Property Location(s)





### Land Use Plan

- Industrial Center (IC)
- Suburban Commercial (SC)
- Single-Family Neighborhood (SFN)

**Parcel ID # 51306, 58758,  
58765, & 58766**

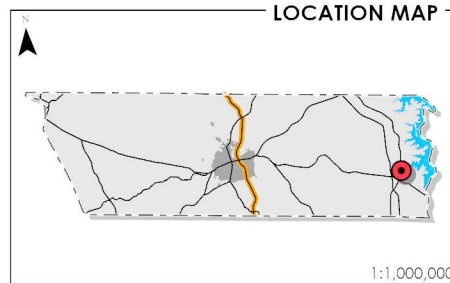
- Property Location(s)

See Attached Application for Parcel Information



Lincoln County  
Planning & Inspections  
115 W. Main St  
3rd Floor  
Lincolnton, NC 28092

### LOCATION MAP



Property Location(s)

# Project Reviews

## Lincoln County

**Project Number: ZONE23-00251**

**Description: Roman Catholic Diocese of Charlotte**

**Applied: 11/14/2023**

**Approved:**

**Site Address: 537 N NC 16 BUSINESS HWY**

**Closed:**

**Expired:**

**City, State Zip Code: ,**

**Status: RECEIVED**

**Applicant: ROMAN CATHOLIC DIOCESE OF**

**Parent Project:**

**Owner: ROMAN CATHOLIC DIOCESE OF**

**Contractor: <NONE>**

**Details:**

### LIST OF REVIEWS

| SENT DATE   | RETURNED DATE | DUE DATE   | TYPE   | CONTACT         | STATUS | REMARKS |
|---|---------------|------------|--|-----------------|--------|---------|
| Review Group: AUTO  |               |            |  |                 |        |         |
| 11/14/2023  |               | 11/27/2023 | ENVIRONMENTAL HEALTH ON-SITE PRE-APPLICATION | Jonathan Harris |        |         |
| Notes:<br>This site is served by Lincoln County Public Utilities.   |               |            |  |                 |        |         |
| 11/14/2023  |               | 11/27/2023 | FIRE MARSHAL - COUNTY PRE-APPLICATION        | Rodney Emmett   |        |         |
| Notes:<br>Burl Shrum<br>FIRE MARSHAL - COUNTY PRE-APPLICATION<br>1. All pavement shall support vehicles weighting up to 75,000 lbs.<br>2. All travel paths shall be of sufficient clearance for a 45 ft. long emergency vehicle<br>3. All hydrants shall be yellow in color, have a 5 inch Storz connection on the steamer connection, have a min. 36 inches clearance around them both during and after construction, and no vertical construction shall begin until hydrants are in full operation and confirmed by the contractor.<br>10/10/2023 4:29:16 PM<br>Burl Shrum<br>FIRE MARSHAL - COUNTY PRE-APPLICATION<br>1. Hydrant shall be no further than 100 ft. from the FDC and have a 5 inch Storz connection on the steamer port, the FDC shall have a 5 inch Storz connection<br>2. All parking lot travel paths shall be min. 20 ft. wide and the islands shall be of a distance to allow for the operation of a 40 ft. long emergency vehicle.<br>3. Knox box shall be on the building<br>4. Driveway entrances shall be min. 26 ft. wide<br>5. Address numbers shall be 6 inches tall and visible from the street<br>6. All underground thrust blocks shall be observed by the fire marshal's office before being covered |               |            |  |                 |        |         |
| 11/14/2023  |               | 11/27/2023 | INSPECTIONS PRE-APPLICATION                  | Jeff Wesdyk     |        |         |
| Notes:<br>All permits required per NC Building Code are to be submitted prior to commencement of work on the building.<br>Any/all wall permits associated with stormwater structures must be completed prior to CO on the building.   |               |            |  |                 |        |         |



# Project Reviews

## Lincoln County

|   |  |            |  |                      |  |  |
|---|--|------------|--|----------------------|--|--|
| 11/14/2023  |  | 11/27/2023 | NATURAL RESOURCES<br>PRE-APPLICATION         | Danielle Rudisill    |  |  |
| <p>Notes:</p> <p>An Erosion Control Plan will be required for the project in accordance with all applicable state and local standards.</p> <p>Points of discharge must be within the site unless otherwise approved by the Director of the Lincoln County Natural Resources Department and adjoining owners.</p>  |  |            |  |                      |  |  |
| 11/14/2023  |  | 11/27/2023 | NCDOT PRE-<br>APPLICATION                    | Michael Watson       |  |  |
| <p>Notes:</p> <p>NCDOT driveway permits will be required in accordance with standard procedure.</p> <p>The driveway accesses proposed will likely improve the concentration of flow into and out of the site.</p>   |  |            |  |                      |  |  |
| 11/14/2023  |  | 11/27/2023 | PUBLIC WORKS -<br>COUNTY PRE-<br>APPLICATION | Jonathan Drazenovich |  |  |
| <p>Notes:</p> <p>The site is served by public water and sewer. The proposed use is acceptable to the current sewer service provided. Any or all updates upon completion of work will be coordinated/required through the traditional process.</p> <p>All stormwater structures shall be built outside of all LCUE areas and shall not infringe upon areas of maintenance.</p> |  |            |  |                      |  |  |

## SITE NOTES:

- DIMENSIONS AND COORDINATE POINTS ARE TO THE FACE OF CURB, EDGE OF PAVEMENT, OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
- ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
- ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
- PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM ALL REGULATORY AUTHORITIES.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMAN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY.
- MAINTENANCE OF TRAFFIC DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH NCDOT STANDARDS AND SPECIFICATIONS.
- DO NOT SCALE DRAWINGS FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.

- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- ALL PAVEMENT MARKERS SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE ON DRAWINGS.
- ALL CURB AND GUTTER SHALL BE 1'-6" UNLESS INDICATED OTHERWISE ON DRAWINGS.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO TIE IN SMOOTHLY TO PROPOSED PAVEMENT AT DRIVEWAY ENTRANCE.
- REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS, TRASH ENCLOSURE DETAILS, FENCING DETAILS, SIGNAGE DETAILS.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION AND LOCATION OF SIDEWALKS, STOOPS, STEPS, HANDRAIL, AND ACCESS DOORS WITH ARCHITECTURAL PLANS.
- COORDINATE SIDEWALK AND SCORING PATTERNS ADJACENT TO THE BUILDING WITH THE ARCHITECTURAL PLANS.
- CONTRACTOR SHALL PROVIDE NECESSARY TRASH COLLECTION AND DISPOSE TO A LEGALLY APPROVED LANDFILL.
- STOP BEFORE YOU DIG. CALL NC ONE-CALL CENTER AT 811 OR 1-800-632-4949.

## SITE SUMMARY:

**WATERSHED (STATE):**  
LAKE NORMAN; WS-IV CRITICAL AREA

**WATER QUALITY BUFFERS:**  
NO WATER QUALITY BUFFERS EXIST ON THE PROJECT PARCEL

**FLOODPLAIN:**  
NO FLOODPLAIN EXISTS ON SITE

**IMPERVIOUS AREAS SUMMARY (WATERSHED)**  
EXISTING IMPERVIOUS = 1.75 AC  
STATE REGULATED AS OF 7/07 = 0.75 AC  
COUNTY REGULATED AS OF 1/1/94 = 1.00 AC  
PROPOSED IMPERVIOUS = 2.43 AC  
STATE REGULATED SINCE 7/07 = 1.34 AC  
COUNTY REGULATED SINCE 1/1/94 = 1.09 AC  
TOTAL IMPERVIOUS = 4.28 AC  
TOTAL STATE REGULATED = 1.76 AC  
TOTAL COUNTY REGULATED = 2.51 AC

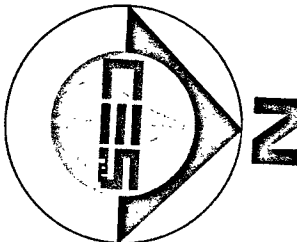
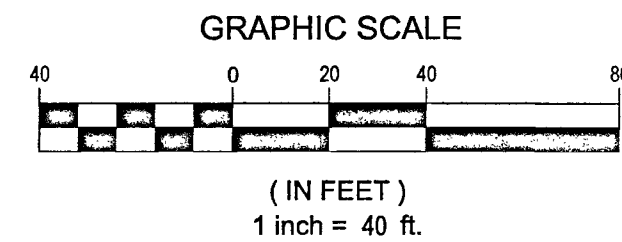
## HATCHING LEGEND

- = PROPOSED HEAVY DUTY ASPHALT (SEE SHEET C8.0 FOR DETAILS)
- = PROPOSED LIGHT DUTY ASPHALT (SEE SHEET C8.0 FOR DETAILS)
- = EXISTING CONCRETE SIDEWALK
- = PROPOSED CONCRETE SIDEWALK
- = PROPOSED GRAVEL (SEE SHEET C8.0 FOR DETAILS)
- = PROPOSED PAVERS (SEE ARCH PLANS FOR DETAILS)



Know what's below.

Call before you dig.  
**NORTH CAROLINA  
ONE-CALL CENTER INC.**  
DIAL 811 or 1-800-632-4949  
2 BUSINESS DAYS BEFORE DIGGING  
www.ncocc.org



## SITE DATA

7.76 ACRES  
PARCEL/PIN #: 51306, 58758, 58766, 58765  
ADDRESS: 537 N NC 16 BUSINESS HWY  
DENVER, NC 28037

ZONED: B-G (GENERAL BUSINESS)  
EXISTING USE: CHURCH

PROPOSED USE: CHURCH

GROSS FLOOR AREA:  
MAX. GROSS = 50,000 SF  
EXISTING = 29,406 SF  
PROPOSED = 16,183 SF  
TOTAL = 45,589 SF

REQUIRED LANDSCAPE BUFFERS:  
FRONT: N/A  
SIDE: N/A  
REAR: N/A

REQUIRED SETBACKS:  
FRONT: 30'  
SIDE: 15' (30' - ABUTTING ROAD)  
REAR: 25'

REQUIRED PARKING: 1 SPACE PER 3 SEATS IN  
LARGEST ASSEMBLY ROOM  
1 X (685/3) = 229 SPACES  
22 ADA SPACES (2 VAN ACCESSIBLE)

PROVIDED PARKING:  
299 TOTAL  
24 ADA SPACES (6 VAN ACCESSIBLE)

BUILDING HEIGHT:  
MAX. ALLOWED = 60 FT (STORY/STORIES)  
BUILDING HEIGHT = 50.5 FT

IMPERVIOUS AREAS:  
MAX. ALLOWED = 75%  
SITE AREA = 337,864.5 SF  
EXISTING IMPERVIOUS = 107,354 SF  
PROPOSED IMPERVIOUS = 100,864 SF  
TOTAL IMPERVIOUS AREA = 208,218 SF (62%)

## LEGEND

| EXISTING     | PROPOSED           |                               |
|--------------|--------------------|-------------------------------|
| × 874.50     | × 874.50           | SPOT ELEVATION                |
| × BC 874.50  | × BC 874.50        | BACK OF CURB SPOT ELEVATION   |
| × TC 874.50  | × TC 874.50        | TOP OF CURB SPOT ELEVATION    |
| × TW 874.50  | × TW 874.50        | TOP OF WALL SPOT ELEVATION    |
| × BW 874.501 | × BW 874.50        | BOTTOM OF WALL SPOT ELEVATION |
| N/A          | × FG 874.50        | FINISHED GRADE SPOT ELEVATION |
| N/A          | × MATCH EX ±874.50 | MATCH EXISTING SPOT ELEVATION |
| ---          | ---                | PROPERTY LINE                 |
| ---          | ---                | RIGHT-OF-WAY LINE             |
| ---          | ---                | CURB AND GUTTER               |
| ---          | ---                | GENERAL EASEMENT LINE         |
| --- 722 ---  | --- 722 ---        | MINOR CONTOUR                 |
| --- 720 ---  | --- 720 ---        | MAJOR CONTOUR                 |
| W            | W                  | WATER LINE                    |
| ⊕            | ⊕                  | FIRE HYDRANT                  |
| ⊕            | ⊕                  | GATE VALVE                    |
| ○            | ○                  | WATER METER                   |
| SS           | SS                 | SANITARY SEWER PIPE           |
| SS           | SS                 | SANITARY SEWER MANHOLE        |
| ---          | ---                | STORM PIPE                    |
| ⊠            | ⊠                  | CATCH BASIN                   |
| CATV         | CATV               | UNDERGROUND CABLE             |
| OH           | OH                 | OVERHEAD UTILITY LINE         |
| UGE          | UGE                | UNDERGROUND ELECTRIC          |
| FO           | FO                 | FIBER OPTIC CABLE             |
| G            | G                  | GAS MAIN                      |
| X            | X                  | FENCE                         |
| ⊙            | ⊙                  | UTILITY POLE                  |
| ⊙            | N/A                | BENCHMARK                     |



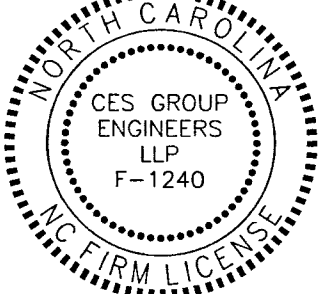
ENGINEERS  
PLANNERS  
SURVEYORS  
SCIENTISTS

CES Group Engineers, LLP  
3525 Whitehall Park Drive, Suite 150  
Charlotte, NC 28273  
PH: 704.489.1500  
www.ces-group.net

SEAL:



CO. SEAL:



OWNER/DEVELOPER  
ROMAN CATHOLIC DIOCESE OF CHARLOTTE  
(ATTN: JEMMETT SAPP III)  
1123 SOUTH CHURCH STREET STREET CHARLOTTE, NORTH CAROLINA 28203  
PHONE: 704.370.6299 EMAIL: EVSAPP@RCDCC.ORG

PROJECT DESCRIPTION:

# HOLY SPIRIT CHURCH

537 N NC 16 BUSINESS HWY

PROJECT NO:

8137.0423CD

ISSUE DATE: ISSUE DATE

DRAWING REVISIONS

| NO. | REVISION DESC. | DATE: |
|-----|----------------|-------|
| 1   |                |       |
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DRAWN BY: CB REVISED BY: CB

CHECKED BY: TC ISSUED BY: CES

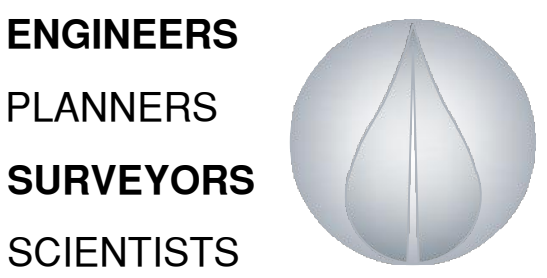
DRAWING TITLE:

SITE PLAN

DRAWING NUMBER:

C3.0

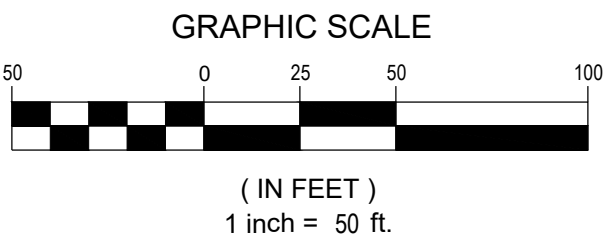




SEAL:



# C4.0



1. EARTHWORK QUANTITIES HAVE NOT BEEN ESTIMATED AND SITE AS SHOWN IS NOT ASSUMED TO REPRESENT A BALANCED CUT / FILL CONDITION.
2. CONTRACTOR SHALL PERFORM HIS OWN ESTIMATE AND SHALL PROVIDE ALL EARTHWORK NECESSARY TO ACHIEVE THE DESIGN GRADE, INCLUDING ANY OFFSITE BORROW OR SPOILS REQUIRED.
3. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL GRADED AREAS, INCLUDING PAVING, LAWN AND LANDSCAPE AREAS.
4. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTIONS PRIOR TO PROCEEDING.
5. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. BOTH PUBLIC AND PRIVATE. CONTRACTOR IS FULLY RESPONSIBLE FOR ALL UNDERGROUND UTILITIES AND SHALL REPAIR ANY DAMAGE AS A RESULT OF THIS CONTRACT.
6. CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
7. THE PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN IN DRIVES, PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
8. ALL "STD." NUMBERS REFER TO THE NCDOT STANDARDS.
9. ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
10. DIGITAL ELEVATIONS SHOWN ARE THE ENGINEER'S ESTIMATE USED TO COMPUTE PIPE SLOPE AND INVERTS AND SHALL NOT BE CONSTRUCTED BY THE CONTRACTOR TO REPRESENT THE ACTUAL QUANTITY OF PIPE REQUIRED.
11. MAXIMUM CROSS SLOPE OF SIDEWALKS SHALL BE 1/4" / FT.
12. SLOPES SHALL BE GRADED NO STEEPER THAN 3:1 WITHOUT ADDITIONAL STABILIZATION MEASURES AND PRIOR APPROVAL.
13. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
14. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
15. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
16. RIM ELEVATIONS OF CURB INLET EQUALS THE FLOW LINE OF GUTTER PAN, NOT THE DEPRESSED ELEVATION AT THE INLET.
17. ALL PROPOSED CONTOURS IN ALL "FILL" AREAS SHOWN ON THIS PLAN REPRESENT COMPACTED STRUCTURAL FILL AND SHALL BE CONSTRUCTED WITH SATISFACTORY MATERIAL COMPACTED TO THE STANDARDS OUTLINED IN THE SPECIFICATIONS.
18. RCP PIPES SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED.
19. ALL STRUCTURES AND GRATES SHALL BE COMPLIANT WITH THE MOST RECENT NCDOT STANDARDS AND BE TRAFFIC BEARING AND RATED HEAVY DUTY, UNLESS LOCATED OUTSIDE OF A PAVED AREA.
20. ALL HDPE PIPE SHALL BE ADS N12 TYPE S OR APPROVED EQUAL.
21. ALL FILL SHALL BE PLACED IN MAXIMUM 8-INCH LIFTS AND COMPACTED. ALL FILL WITHIN LIMITS OF BUILDING AND PAVEMENT AREAS SHALL BE COMPACTED TO 100% STD. PROCTOR DENSITY WITHIN THE TOP 24 INCHES AND A MINIMUM 98% STD. PROCTOR DENSITY BELOW 24-INCH DEPTH. FILL WITHIN LANDSCAPED AREAS SHALL BE COMPACTED TO MINIMUM 90% STD. PROCTOR DENSITY. REFER TO GEOTECHNICAL ENGINEER'S REPORT FOR ADDITIONAL EARTHWORK SPECIFICATIONS AND REQUIREMENTS.
22. ALL ROOF DRAIN PIPES SHALL BE 8" HDPE AND SHALL BE AT MIN 2% SLOPE UNLESS OTHERWISE NOTED.





