



PLANNING & INSPECTIONS DEPARTMENT

Joshua L. Grant, Manager

To: Board of County Commissioners

From: Joshua L. Grant, Manager

Date: November 14, 2023

Re: SUP #498
Roman Catholic Diocese of Charlotte, applicant
Parcel ID# 51306, 58758, 58766, 58765

The following information is for use by the Lincoln County Board of Commissioners at their meeting/public hearing on December 4, 2023.

Request

The applicant is requesting a special use permit to construct a church facility with a seating capacity in excess of 500 persons in the B-G (General Business) district. Under the Unified Development Ordinance, this request requires a special use permit when the proposed location is within the Eastern Lincoln Development District overlay.

Site Area and Description

The request involves four parcels of land totaling approximately 7.642 acres located at 537 N NC 16 Business Hwy, Charlotte, NC 28037 in Catawba Springs Township. The subject property is located in the B-G (General Business) zoning district and the ELDD (Eastern Lincoln Development District) overlay. The subject property is adjoined by property zoned B-N (Neighborhood Business), B-G (General Business), I-G (Industrial General). Land uses in this area include industrial and business. This property is located in an area designated by the Lincoln County Land Use Plan as Suburban Commercial.



Special Use Permit Application

Lincoln County Planning and Inspections Department
Zoning Administrator
115 W. Main St., Lincolnton, NC 28092
Phone: (704) 736-8440 Fax: (704) 732-9010

PART I

Applicant Name Roman Catholic Diocese of Charlotte
Applicant Address 1123 South Church Street, Charlotte, NC 28203
Applicant Phone Number 704.370.6299
Property Owner Name Roman Catholic Diocese of Charlotte
Property Owner Address 1123 South Church Street, Charlotte, NC 28203
Property Owner Phone Number 704.370.6299

PART II

Property Location 537 N NC 16 Business Hwy, Denver, NC 28037
4602674730, 4602672740
Property ID (10 digits) 4602674359, 4602676711 Property size 7.642
Parcel # (5 digits) 51306, 58758 Deed Book(s) 691 Page(s) 545
58766, 58765 2249 103
2936 542

PART III

Existing Zoning District ELDD B-G (General Business

Briefly describe how the property is being used and any existing structures.

Existing church with 500+ seating capacity, parking and
accessory buildings.

Briefly explain the proposed use and/or structure which would require a Special Use Permit.

Replacing existing church with new proposed structure, with
500 - 1,000 seating capacity. Existing church was built prior
to existing special use requirements relative to seating capacity.

APPLICATION FEE (less than 2 acres \$250, 2+ acres \$500)
MUST BE RECEIVED BEFORE PROCESSING.

I hereby certify that all knowledge of the information provided for this application and attachments is true and correct to the best of my knowledge.

Applicant's Signature

Date

[Handwritten Signature] *10/17/23*

Application # _____ Date _____

Applicant's Name Roman Catholic Diocese of Charlotte

Applicant's Address 1123 South Church Street, Charlotte, NC 28203

Property Location 537 N NC 16 Business Hwy, Existing Zoning ELDD B-G
Denver, NC 28037 (General Business)

Proposed Special Use Same use of church with 500-1,000 seats

PROPOSED FINDINGS OF FACT

1. The use will not materially endanger the public health or safety if located where proposed and developed according to plan. YES _____ NO X

FACTUAL REASONS CITED: No change in use and minimal change in overall seating capacity.

2. The use meets all required conditions and specifications. YES X NO _____

FACTUAL REASONS CITED: All setbacks and buffers being met.

3. The use will not substantially injure the value of adjoining or abutting property unless the use is a public necessity. YES _____ NO X

FACTUAL REASONS CITED: Same use and approximately same seating capacity.

4. The location and character of use, if developed according to the plan as submitted and approved, will be in harmony with the area in which it is to be located and will be in general conformity with the Land Use Plan for the area in question. YES X NO _____

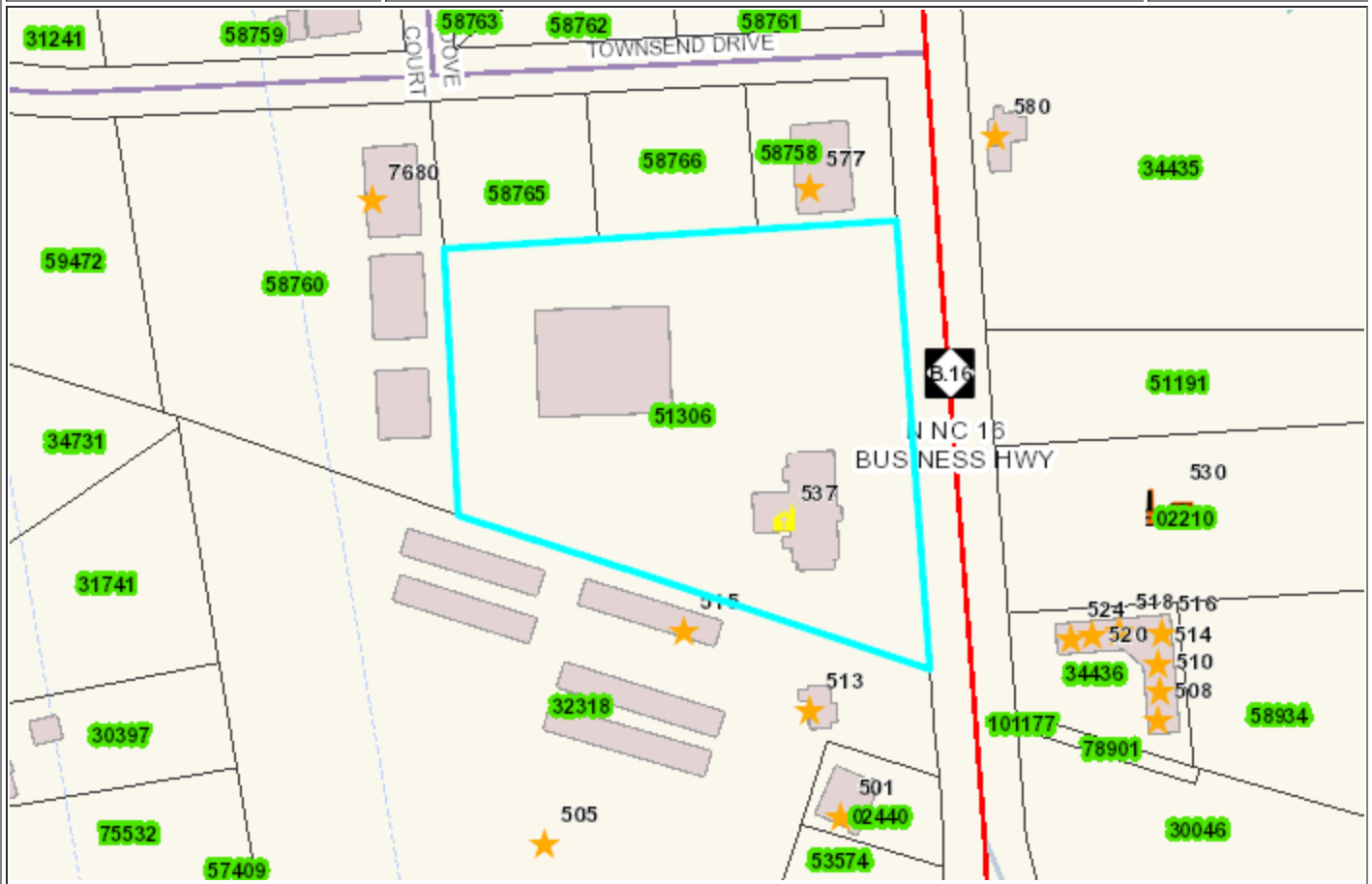
FACTUAL REASONS CITED: Proposed use will meet all development guidelines, in addition to any applicable guidelines required by the ELDD overlay.



Lincoln County, NC

Office of the Tax Administrator, GIS Mapping Division

Lincoln County and its mapping contractors assume no legal responsibility for the information contained on this map. This map is not to be used for land conveyance. The map is based on NC State Plane Coordinate System 1983 NAD.
Date: 11/14/2023

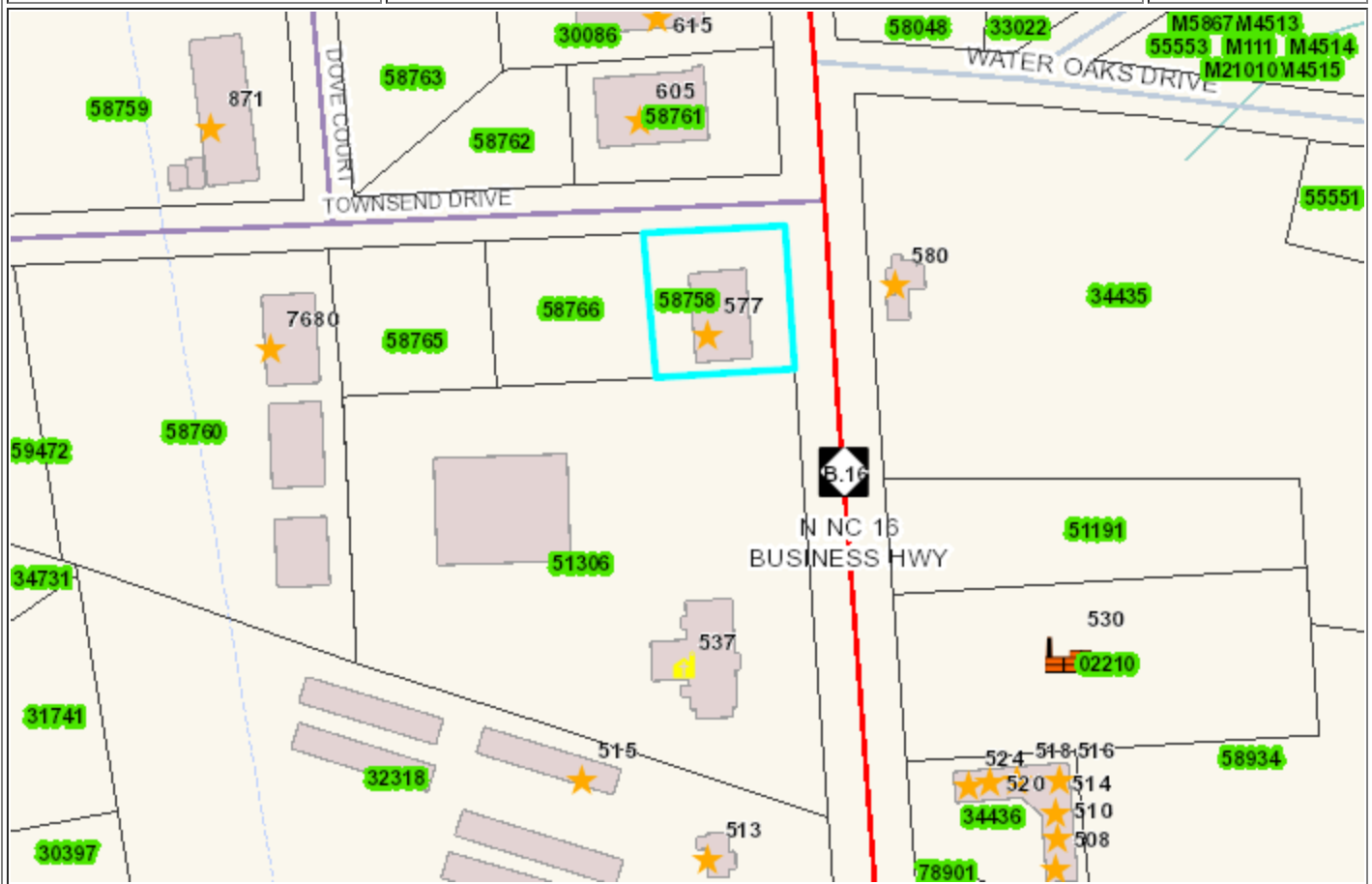
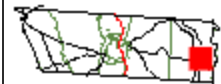


51306

Parcel ID	51306	Owner	ROMAN CATHOLIC DIOCESE OF CHARLOTTE		
Map	4602	Mailing	1123 S CHURCH ST		
Account	38274	Address	CHARLOTTE, NC 28203		
Deed	691 544	Last Transaction Date	01/01/1992	Sale Price	\$0
Plat		Subdivision		Lot	
Land Value	\$1,110,210	Improvement Value	\$4,617,507	Total Value	\$5,727,717
Previous Parcel					
-----All values for Tax Year 2023 -----					
Description	HWY 16/EXEMPT PROP			Deed Acres	6.14
Address	537 N NC 16 BUSINESS HWY			Tax Acres	5.436
Township	CATAWBA SPRINGS		Tax/Fire District	EAST LINCOLN	
Main Improvement	CHURCH		Value	\$1,363,768	
Main Sq Feet	9396	Stories	1	Year Built	1970
Zoning District	Calc Acres	Voting Precinct		Calc Acres	
B-G	5.44	TA37		5.44	
Watershed	3.28	Sewer District			
	2.16	SEWER		5.44	
Census County		Tract	Block		
109		071101	3020	0.54	
109		071101	3019	4.9	
Flood	Zone Description		Panel		
X	NO FLOOD HAZARD		3710460200	5.44	



Lincoln County, NC
Office of the Tax Administrator, GIS Mapping Division
 Lincoln County and its mapping contractors assume no legal responsibility for the information contained on this map. This map is not to be used for land conveyance. The map is based on NC State Plane Coordinate System 1983 NAD.
 Date: 11/14/2023



Parcel ID	58758	Owner	JUGIS PETER J BISHOP OF THE ROMAN CATHOLIC DIOCESE OF	
Map	4602	Mailing	1123 S CHURCH ST	
Account	0279749	Address	CHARLOTTE, NC 28023	
Deed	2936 541	Last Transaction Date	08/07/2020	Sale Price \$1,000,000
Plat	G 48	Subdivision	TRIANGLE BUSINESS PARK	Lot 14
Land Value	\$322,949	Improvement Value	\$283,468	Total Value \$606,417
Previous Parcel				
-----All values for Tax Year 2023 -----				
Description	#14 TRIANGLE BUS. PARK			Deed Acres 0.79
Address	577 N NC 16 BUSINESS HWY			Tax Acres 0.674
Township	CATAWBA SPRINGS			Value \$265,468
Main Improvement	SERVICE SHOP/OFFICE			Year Built 1995
Main Sq Feet	6000	Stories	1	
Zoning District	Calc Acres	Voting Precinct	Calc Acres	
B-G	0.67	TA37	0.67	
Watershed	0.67	Sewer District	SEWER	0.67
Census County	109	Tract	071101	Block 3019
Flood	Zone Description			Panel

	X	NO FLOOD HAZARD	3710460200	0.67
--	---	-----------------	------------	------



Parcel ID	58766	Owner	ROMAN CATHOLIC DIOCESE OF CHARLOTTE NC		
Map	4602	Mailing	1123 S CHURCH STREET		
Account	0232880	Address	CHARLOTTE, NC 28203		
Deed	2249 103	Last Transaction Date	05/10/2011	Sale Price	\$180,000
Plat	G 48	Subdivision	TRIANGLE BUSINESS PARK	Lot	13
Land Value	\$125,940	Improvement Value	\$0	Total Value	\$125,940
Previous Parcel					
-----All values for Tax Year 2023 -----					
Description	#13 TRIANGLE BUS. PARK			Deed Acres	0.77
Address	TOWNSEND DR			Tax Acres	0.771
Township	CATAWBA SPRINGS			Tax/Fire District	EAST LINCOLN
Main Improvement			Value		
Main Sq Feet		Stories	Year Built		
Zoning District	Calc Acres	Voting Precinct		Calc Acres	
B-G	0.77	TA37		0.77	
Watershed		Sewer District			
0.58		SEWER		0.77	
0.2					
Census County		Tract	Block		
109		071101	3019	0.77	
Flood	Zone Description		Panel		
X	NO FLOOD HAZARD		3710460200	0.77	



Lincoln County, NC
Office of the Tax Administrator, GIS Mapping Division
 Lincoln County and its mapping contractors assume no legal responsibility for the information contained on this map. This map is not to be used for land conveyance. The map is based on NC State Plane Coordinate System 1983 NAD.
 Date: 11/14/2023

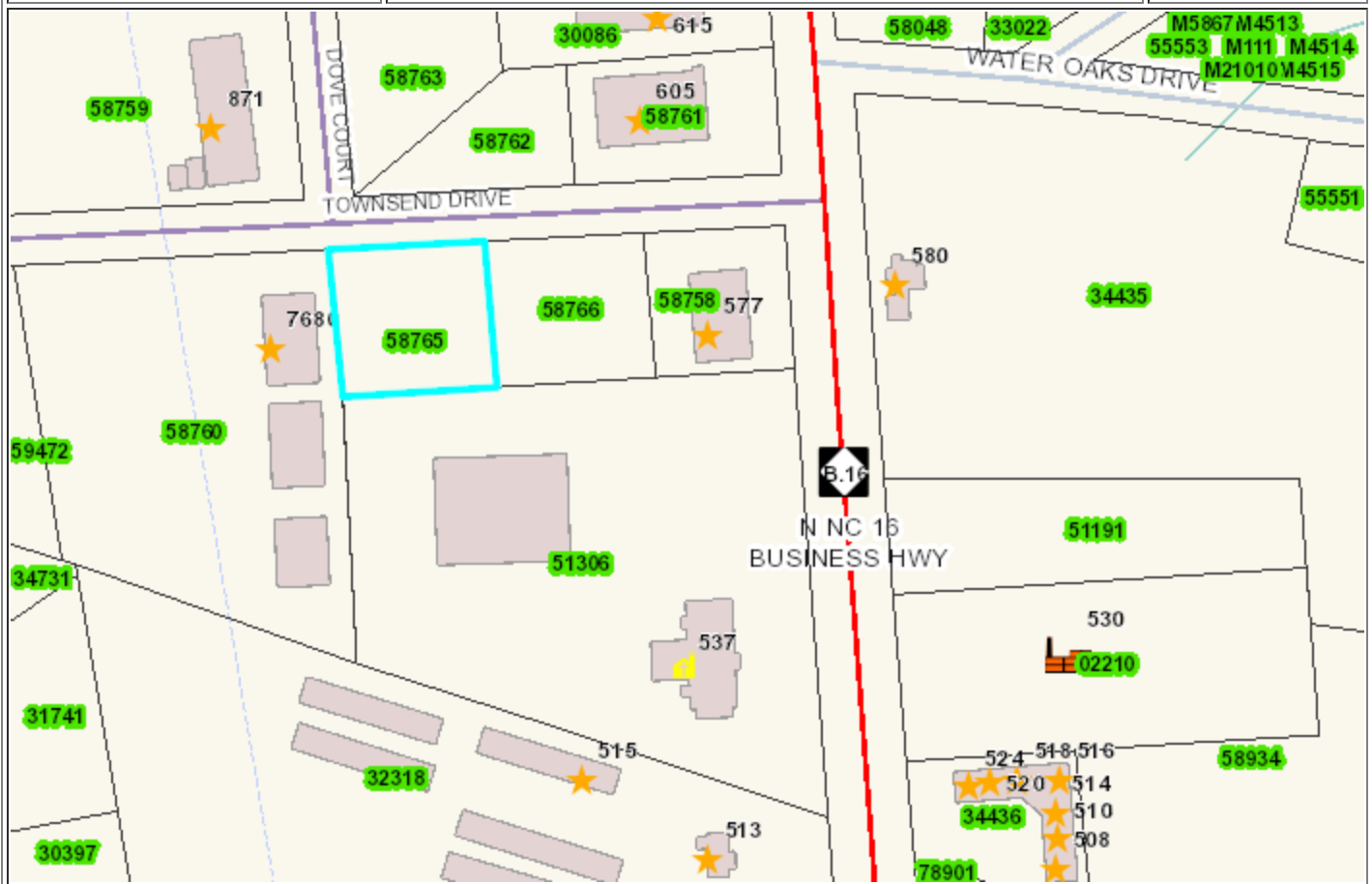
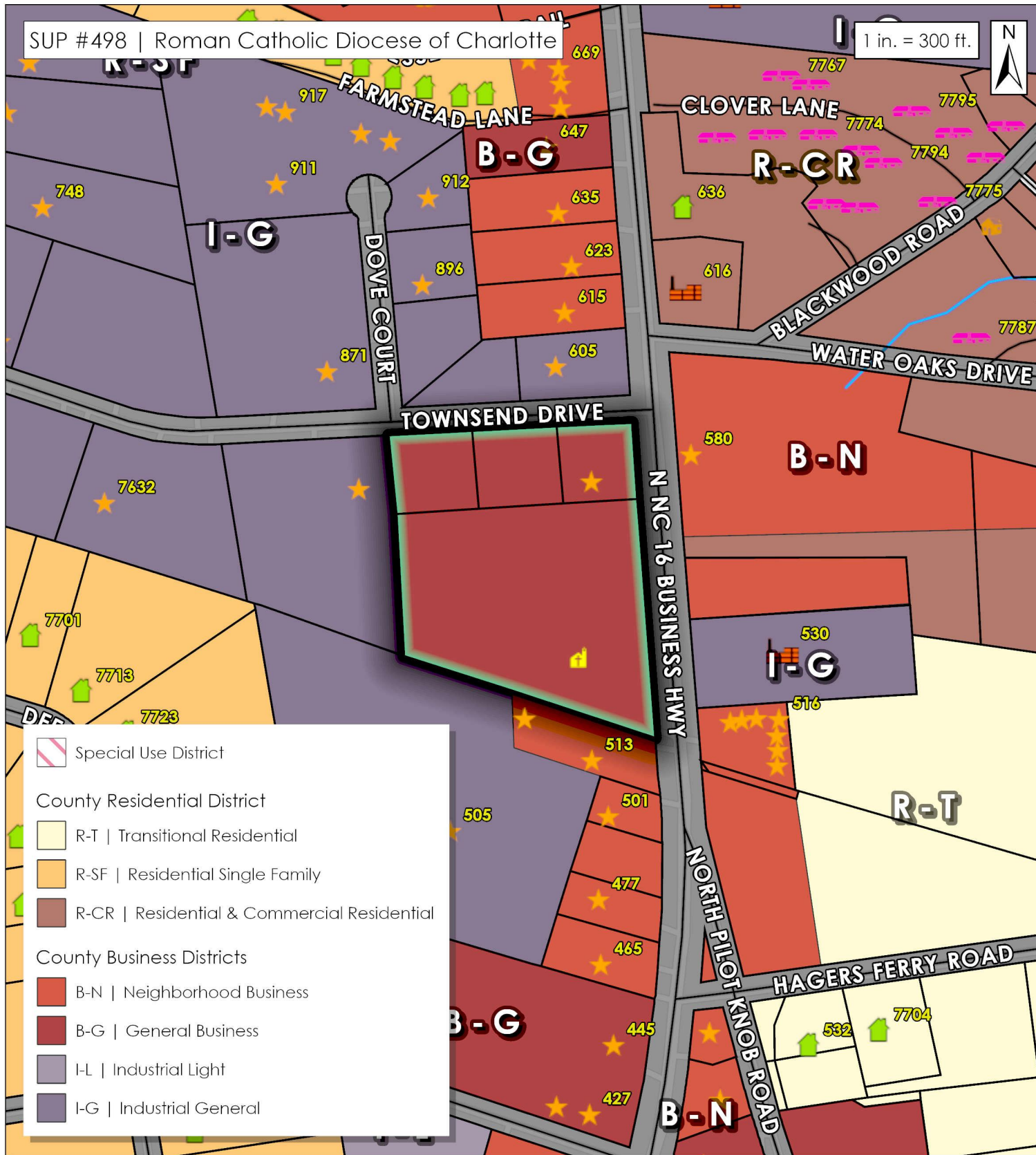


Photo Not
Available

Parcel ID	58765	Owner	ROMAN CATHOLIC DIOCESE OF CHARLOTTE NC	
Map	4602	Mailing	1123 S CHURCH STREET	
Account	0232880	Address	CHARLOTTE, NC 28203	
Deed	2249 103	Last Transaction Date	05/10/2011	Sale Price \$180,000
Plat	G 48	Subdivision	TRIANGLE BUSINESS PARK	Lot 12
Land Value	\$124,308	Improvement Value	\$0	Total Value \$124,308
Previous Parcel				
-----All values for Tax Year 2023 -----				
Description	#12 TRIANGLE BUS. PARK			Deed Acres 0.76
Address	TOWNSEND DR			Tax Acres 0.761
Township	CATAWBA SPRINGS			EAST LINCOLN
Main Improvement				Value
Main Sq Feet	Stories			Year Built
Zoning District	Calc Acres	Voting Precinct		Calc Acres
B-G	0.76	TA37		0.76
Watershed	0.76	Sewer District		SEWER 0.76
Census County	109	Tract	071101	Block 3019 0.76
Flood	Zone Description	Panel		
X	NO FLOOD HAZARD	3710460200		0.76



Special Use District

County Residential District

R-T | Transitional Residential

R-SF | Residential Single Family

R-CR | Residential & Commercial Residential

County Business Districts

B-N | Neighborhood Business

B-G | General Business

I-L | Industrial Light

I-G | Industrial General



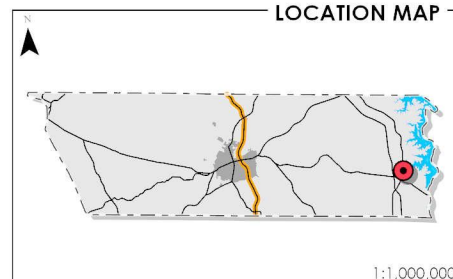
Parcel ID # 51306, 58758,
58765, & 58766

- Property Location(s)

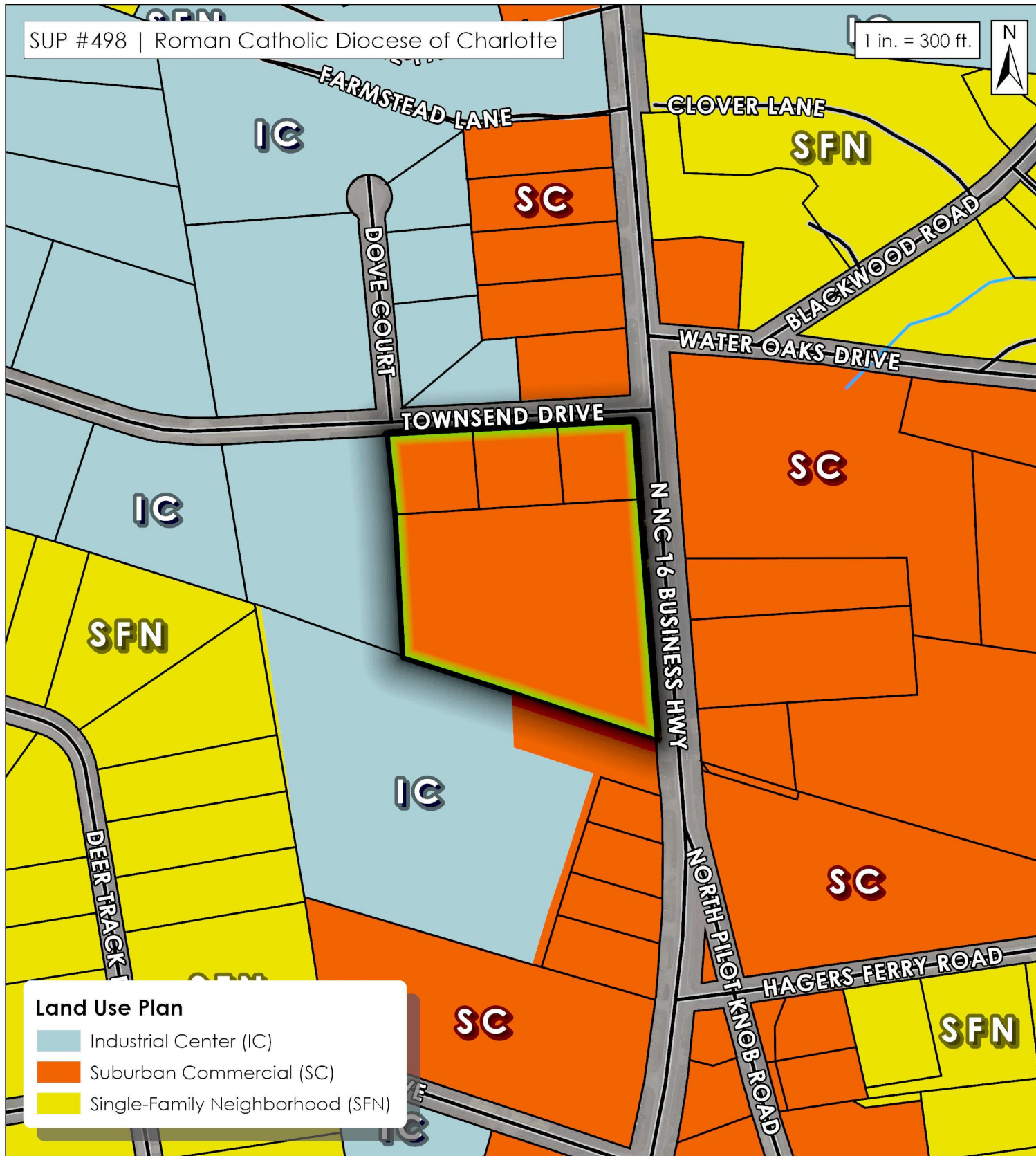
See Attached Application for Parcel Information

Lincoln County
Planning & Inspections
115 W. Main St
3rd Floor
Lincolnton, NC 28092

LOCATION MAP



Property Location(s)



Land Use Plan

- Industrial Center (IC)
- Suburban Commercial (SC)
- Single-Family Neighborhood (SFN)

**Parcel ID # 51306, 58758,
58765, & 58766**

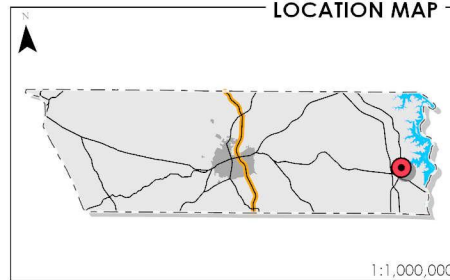
- Property Location(s)

See Attached Application for Parcel Information



Lincoln County
Planning & Inspections
115 W. Main St
3rd Floor
Lincolnton, NC 28092

LOCATION MAP



Property Location(s)

Project Reviews

Lincoln County

Project Number: **ZONE23-00220**

Description: **SUP #498 Holy Spirit Catholic Church**

Applied: **10/10/2023**

Approved:

Site Address: **537 N NC 16 BUSINESS HWY**

Closed:

Expired:

City, State Zip Code: ,

Status: **UNDER REVIEW**

Applicant: **<NONE>**

Parent Project:

Owner: **ROMAN CATHOLIC DIOCESE OF**

Contractor: **<NONE>**

Details:

LIST OF REVIEWS

SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
Review Group: AUTO						
10/10/2023		10/13/2023	ENVIRONMENTAL HEALTH ON-SITE PRE-APPLICATION	Jonathan Harris		
Notes:						
This site is served by Lincoln County Public Utilities.						
10/10/2023		10/13/2023	FIRE MARSHAL - COUNTY PRE-APPLICATION	Burl Shrum		
Notes:						
1. All pavement shall support vehicles weighting up to 75,000 lbs. 2. All travel paths shall be of sufficient clearance for a 45 ft. long emergency vehicle 3. All hydrants shall be yellow in color, have a 5 inch Storz connection on the steamer connection, have a min. 36 inches clearance around them both during and after construction, and no vertical construction shall begin until hydrants are in full operation and confirmed by the contractor. 1. Hydrant shall be no further than 100 ft. from the FDC and have a 5 inch Storz connection on the steamer port, the FDC shall have a 5 inch Storz connection 2. All parking lot travel paths shall be min. 20 ft. wide and the islands shall be of a distance to allow for the operation of a 40 ft. long emergency vehicle. 3. Knox box shall be on the building 4. Driveway entrances shall be min. 26 ft. wide 5. Address numbers shall be 6 inches tall and visible from the street 6. All underground thrust blocks shall be observed by the fire marshal's office before being covered						
10/10/2023	10/26/2023	10/13/2023	INSPECTIONS PRE-APPLICATION	Jeff Wesdyk	COMPLETE	
Notes:						
All permits required per NC Building Code are to be submitted prior to commencement of work on the building.						

Project Reviews

Lincoln County

10/10/2023		10/13/2023	NATURAL RESOURCES PRE-APPLICATION	Danielle Rudisill		
<p>Notes:</p> <p>An Erosion Control Plan will be required for the project in accordance with all applicable state and local standards.</p> <p>Points of discharge must be within the site unless otherwise approved by the Director of the Lincoln County Natural Resources Department and adjoining owners.</p>						
10/10/2023		10/13/2023	NCDOT PRE- APPLICATION	Michael Watson		
<p>Notes:</p> <p>NCDOT driveway permits will be required in accordance with standard procedure.</p> <p>The driveway accesses proposed will likely improve the concentration of flow into and out of the site.</p>						
10/10/2023		10/13/2023	PUBLIC WORKS - COUNTY PRE- APPLICATION	Jonathan Drazenovich		
<p>Notes:</p> <p>The site is served by public water and sewer. The proposed use is acceptable to the current sewer service provided. Any or all updates upon completion of work will be coordinated/required through the traditional process.</p>						

