



PLANNING & INSPECTIONS DEPARTMENT
Joshua L. Grant, Manager

To: Board of County Commissioners

From: Joshua L. Grant, Manager

Date: November 14, 2023

Re: SUP #498
Roman Catholic Diocese of Charlotte, applicant
Parcel ID# 51306, 58758, 58766, 58765

The following information is for use by the Lincoln County Board of Commissioners at their meeting/public hearing on December 4, 2023.

Request

The applicant is requesting a special use permit to construct a church facility with a seating capacity in excess of 500 persons in the B-G (General Business) district. Under the Unified Development Ordinance, this request requires a special use permit when the proposed location is within the Eastern Lincoln Development District overlay.

Site Area and Description

The request involves four parcels of land totaling approximately 7.642 acres located at 537 N NC 16 Business Hwy, Charlotte, NC 28037 in Catawba Springs Township. The subject property is located in the B-G (General Business) zoning district and the ELDD (Eastern Lincoln Development District) overlay. The subject property is adjoined by property zoned B-N (Neighborhood Business), B-G (General Business), I-G (Industrial General). Land uses in this area include industrial and business. This property is located in an area designated by the Lincoln County Land Use Plan as Suburban Commercial.



Special Use Permit Application

Lincoln County Planning and Inspections Department
Zoning Administrator
115 W. Main St., Lincolnton, NC 28092
Phone: (704) 736-8440 Fax: (704) 732-9010

PART I

Applicant Name Roman Catholic Diocese of Charlotte

Applicant Address 1123 South Church Street, Charlotte, NC 28203

Applicant Phone Number 704.370.6299

Property Owner Name Roman Catholic Diocese of Charlotte

Property Owner Address 1123 South Church Street, Charlotte, NC 28203

Property Owner Phone Number 704.370.6299

PART II

Property Location 537 N NC 16 Business Hwy, Denver, NC 28037
4602674730, 4602672740

Property ID (10 digits) 4602674359, 4602676711 Property size 7.642

Parcel # (5 digits) 51306, 58758 Deed Book(s) 691 Page(s) 545
58766, 58765 2249 103
2936 542

PART III

Existing Zoning District ELDD B-G (General Business

Briefly describe how the property is being used and any existing structures.

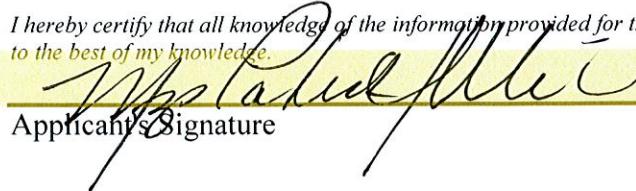
Existing church with 500+ seating capacity, parking and accessory buildings.

Briefly explain the proposed use and/or structure which would require a Special Use Permit.

Replacing existing church with new proposed structure, with 500 - 1,000 seating capacity. Existing church was built prior to existing special use requirements relative to seating capacity.

APPLICATION FEE (less than 2 acres \$250, 2+ acres \$500)
MUST BE RECEIVED BEFORE PROCESSING.

I hereby certify that all knowledge of the information provided for this application and attachments is true and correct to the best of my knowledge.

Applicant's Signature

10/13/23
Date

Application # _____ Date _____

Applicant's Name Roman Catholic Diocese of Charlotte

Applicant's Address 1123 South Church Street, Charlotte, NC 28203

Property Location 537 N NC 16 Business Hwy,
Denver, NC 28037 Existing Zoning ELDD B-G
(General Business)

Proposed Special Use Same use of church with 500-1,000 seats

PROPOSED FINDINGS OF FACT

1. The use will not materially endanger the public health or safety if located where proposed and developed according to plan. YES NO

FACTUAL REASONS CITED: No change in use and minimal change in overall seating capacity.

2. The use meets all required conditions and specifications. YES NO

FACTUAL REASONS CITED: All setbacks and buffers being met.

3. The use will not substantially injure the value of adjoining or abutting property unless the use is a public necessity. YES NO

FACTUAL REASONS CITED: Same use and approximately same seating capacity.

4. The location and character of use, if developed according to the plan as submitted and approved, will be in harmony with the area in which it is to be located and will be in general conformity with the Land Use Plan for the area in question. YES NO

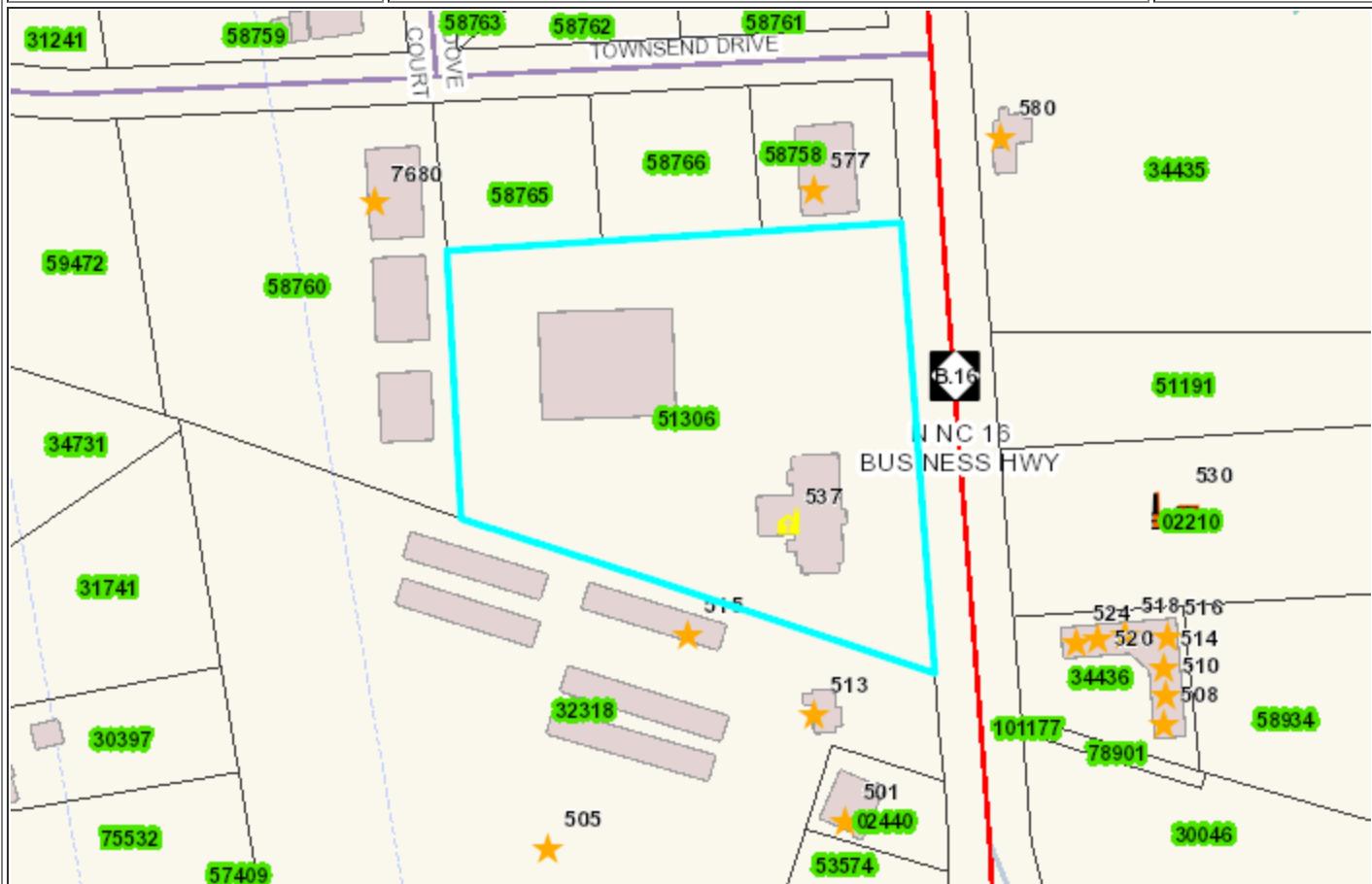
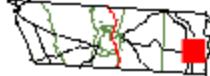
FACTUAL REASONS CITED: Proposed use will meet all development guidelines, in addition to any applicable guidelines required by the ELDD overlay.



Lincoln County, NC

Office of the Tax Administrator, GIS Mapping Division

Lincoln County and its mapping contractors assume no legal responsibility for the information contained on this map. This map is not to be used for land conveyance. The map is based on NC State Plane Coordinate System 1983 NAD. Date: 11/14/2023



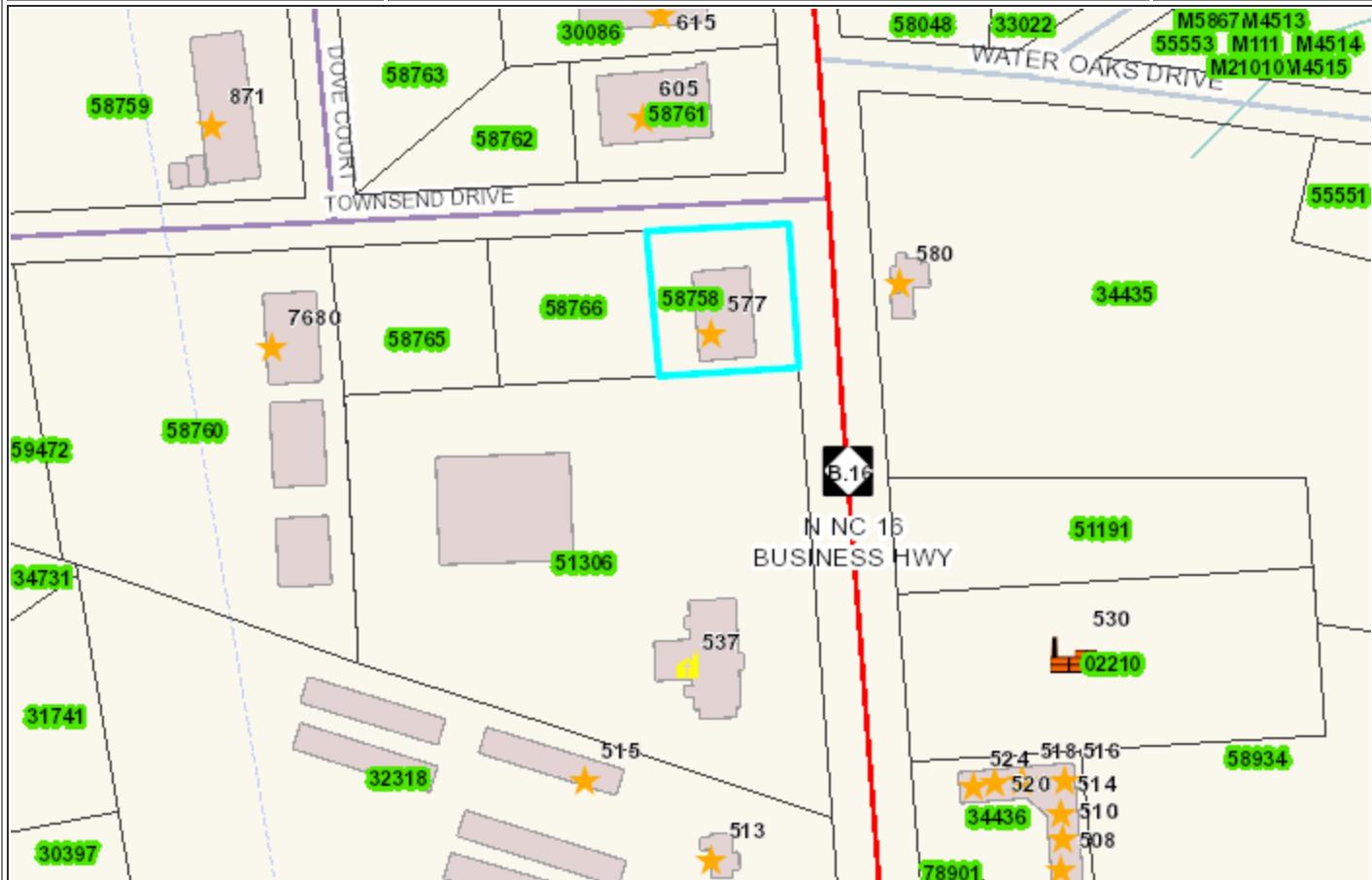
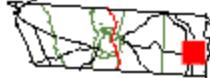
 51306	Parcel ID	51306	Owner	ROMAN CATHOLIC DIOCESE OF CHARLOTTE
	Map	4602	Mailing Address	1123 S CHURCH ST CHARLOTTE, NC 28203
	Account	38274	Last Transaction Date	01/01/1992
	Deed	691 544	Subdivision	Sale Price \$0
	Plat			Lot
	Land Value	\$1,110,210	Improvement Value	\$4,617,507
	Total Value	\$ 5,727,717		
	Previous Parcel			
	-----All values for Tax Year 2023-----			
	Description	HWY 16/EXEMPT PROP	Deed Acres	6.14
	Address	537 N NC 16 BUSINESS HWY	Tax Acres	5.436
	Township	CATAWBA SPRINGS	Tax/Fire District	EAST LINCOLN
	Main Improvement	CHURCH	Value	\$1,363,768
	Main Sq Feet	9396	Year Built	1970
	Zoning District	Calc Acres	Voting Precinct	Calc Acres
	B-G	5.44	TA37	5.44
	Watershed		Sewer District	
		3.28	SEWER	5.44
		2.16		
	Census County		Tract	Block
	109		071101	3020
	109		071101	3019
	Flood	Zone Description	Panel	
	X	NO FLOOD HAZARD	3710460200	5.44



Lincoln County, NC

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Parcel ID	58758	Owner	JUGIS PETER J BISHOP OF THE ROMAN CATHOLIC DIOCESE OF
Map	4602	Mailing	1123 S CHURCH ST
Account	0279749	Address	CHARLOTTE, NC 28023
Deed	2936 541	Last Transaction Date	08/07/2020
Plat	G 48	Subdivision	TRIANGLE BUSINESS PARK
Land Value	\$322,949	Improvement Value	\$283,468
			Total Value
			\$606,417
Previous Parcel			
-----All values for Tax Year 2023 -----			
Description	#14 TRIANGLE BUS. PARK	Deed Acres	0.79
Address	577 N NC 16 BUSINESS HWY	Tax Acres	0.674
Township	CATAWBA SPRINGS	Tax/Fire District	EAST LINCOLN
Main Improvement	SERVICE SHOP/OFFICE	Value	\$265,468
Main Sq Feet	6000	Stories	1
Zoning District	Calc Acres	Voting Precinct	Calc Acres
B-G	0.67	TA37	0.67
Watershed		Sewer District	
	0.67	SEWER	0.67
Census County		Tract	
109		071101	3019
Flood	Zone Description	Panel	0.67

11/14/23, 4:40 PM

Map with Parcel Information

|| X

NO FLOOD HAZARD

3710460200

0.67



Lincoln County, NC

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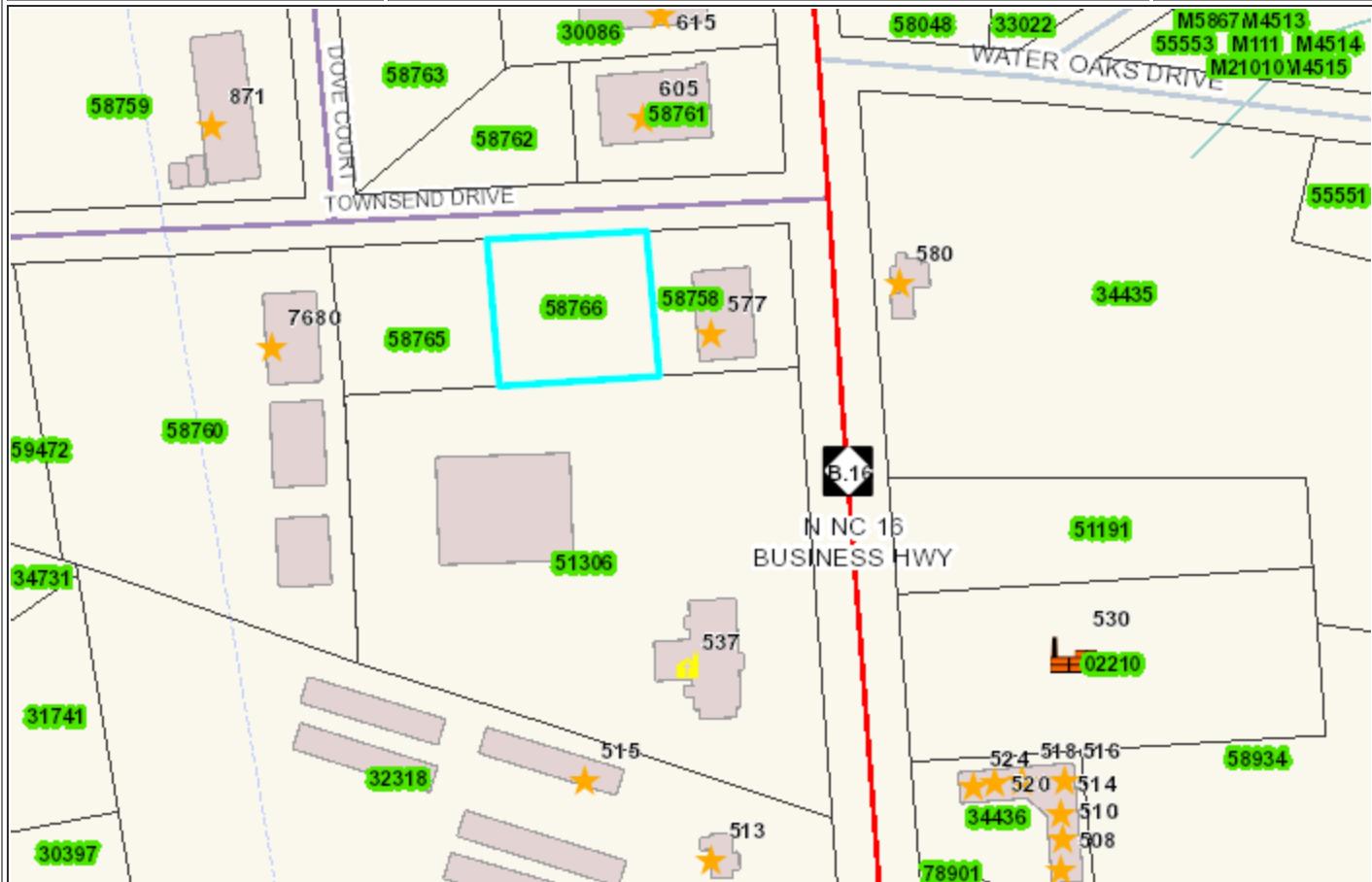
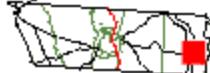


 Photo Not Available	Parcel ID	58766	Owner	ROMAN CATHOLIC DIOCESE OF CHARLOTTE NC
	Map	4602	Mailing	1123 S CHURCH STREET
	Account	0232880	Address	CHARLOTTE, NC 28203
	Deed	2249 103	Last Transaction Date	05/10/2011
	Plat	G 48	Subdivision	TRIANGLE BUSINESS PARK
	Land Value	\$125,940	Improvement Value	\$0
	Total Value	\$125,940		
	Previous Parcel			
	-----All values for Tax Year 2023 -----			
	Description	#13 TRIANGLE BUS. PARK		
Address		TOWNSEND DR		Deed Acres 0.77
Township		CATAWBA SPRINGS		Tax Acres 0.771
Main Improvement				EAST LINCOLN
Main Sq Feet		Stories		Value
Zoning District		Calc Acres		Year Built
B-G		0.77		
Watershed				
0.58				
0.2				
Census County		Tract	Block	
109		071101	3019	0.77
Flood	Zone Description	Panel		
X	NO FLOOD HAZARD	3710460200		
				0.77



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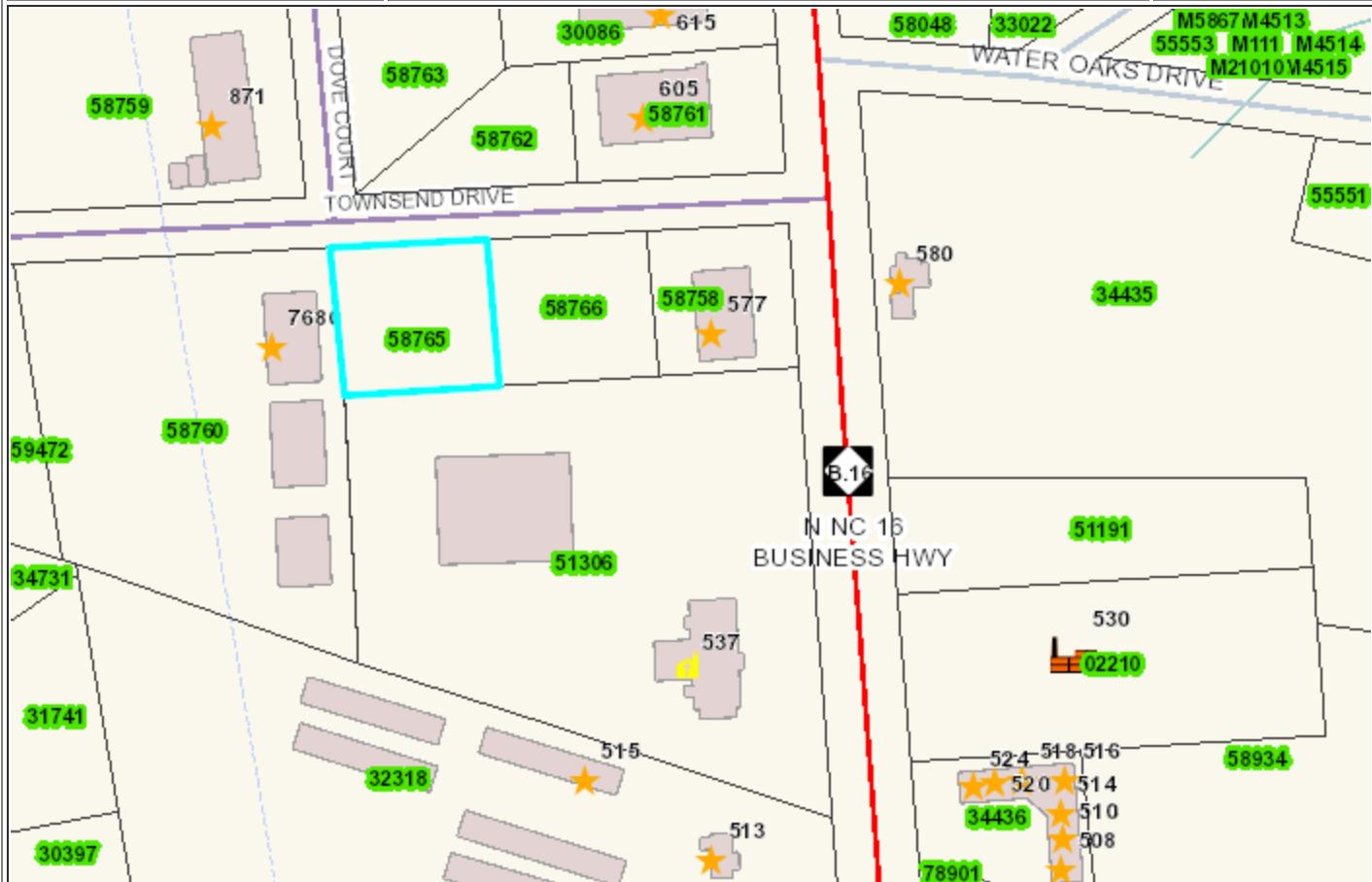
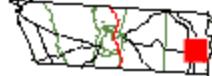
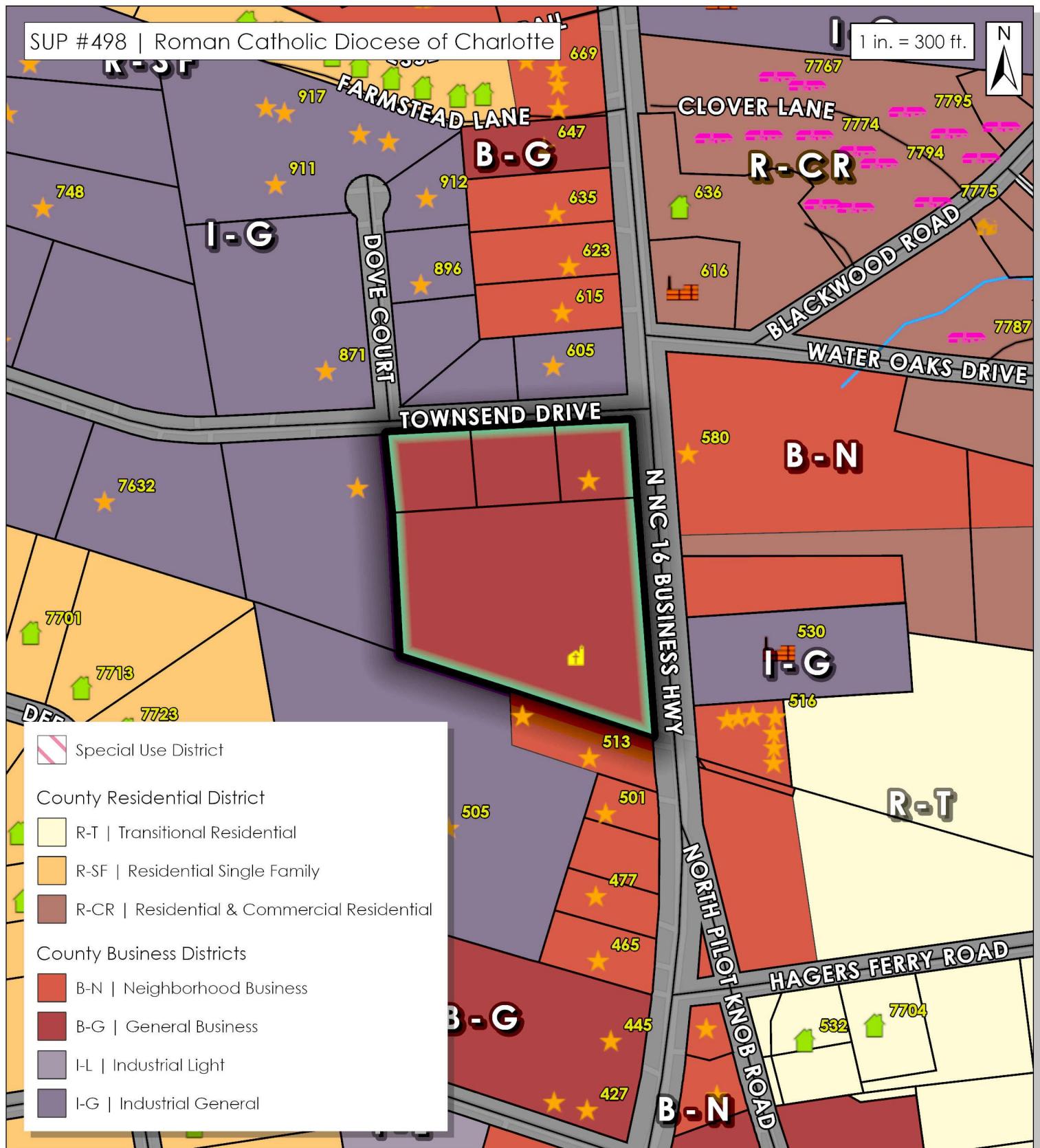


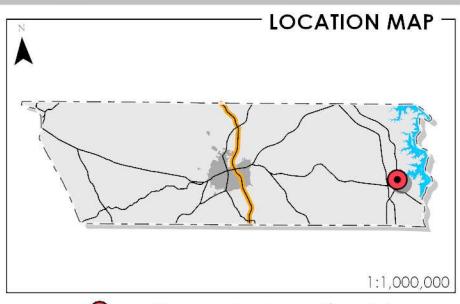
 Photo Not Available	Parcel ID	58765	Owner	ROMAN CATHOLIC DIOCESE OF CHARLOTTE NC
	Map	4602	Mailing	1123 S CHURCH STREET
	Account	0232880	Address	CHARLOTTE, NC 28203
	Deed	2249 103	Last Transaction Date	05/10/2011
	Plat	G 48	Subdivision	TRIANGLE BUSINESS PARK
	Land Value	\$124,308	Improvement Value	\$0
	Previous Parcel	-----All values for Tax Year 2023 -----		
	Description	#12 TRIANGLE BUS. PARK		
	Address	TOWNSEND DR		
	Township	CATAWBA SPRINGS		
Main Improvement				
Main Sq Feet		Stories		Deed Acres 0.76
Zoning District		Voting Precinct		Tax Acres 0.761
B-G		TA37		EAST LINCOLN
Watershed				
0.76		Sewer District		Value
Census County		SEWER		Year Built
109		0.76		
Flood	Zone Description	Panel		
X	NO FLOOD HAZARD	3710460200		
		0.76		

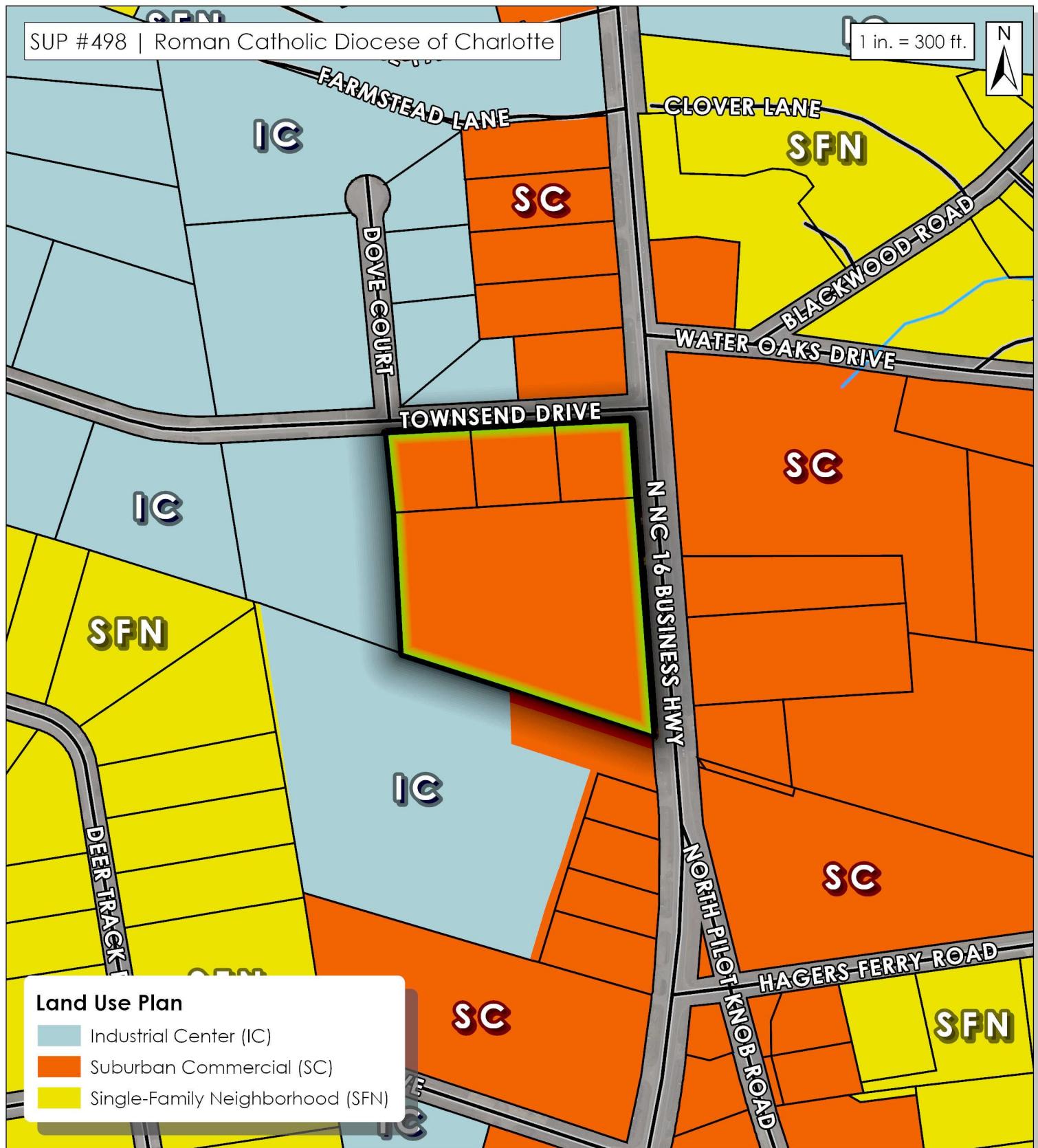


Lincoln County
Planning & Inspections
115 W. Main St
3rd Floor
Lincolnton, NC 28092

See Attached Application for Parcel Information

LOCATION MAP





Parcel ID # 51306, 58758,
58765, & 58766

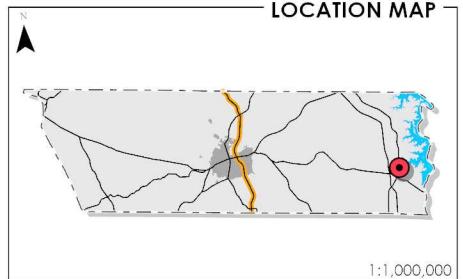
- Property Location(s)



Lincoln County
Planning & Inspections
115 W. Main St
3rd Floor
Lincolnton, NC 28092

See Attached Application for Parcel Information

LOCATION MAP



Property Location(s)

Project Reviews

Lincoln County

Project Number: ZONE23-00220

Description: SUP #498 Holy Spirit Catholic Church

Applied: 10/10/2023

Approved:

Site Address: 537 N NC 16 BUSINESS HWY

Closed:

Expired:

City, State Zip Code: ,

Status: UNDER REVIEW

Applicant: <NONE>

Parent Project:

Owner: ROMAN CATHOLIC DIOCESE OF

Contractor: <NONE>

Details:

LIST OF REVIEWS

SENT DATE	RETURNED DATE	DUUE DATE	TYPE	CONTACT	STATUS	REMARKS
Review Group: AUTO						
10/10/2023		10/13/2023	ENVIRONMENTAL HEALTH ON-SITE PRE- APPLICATION	Jonathan Harris		
Notes:						
This site is served by Lincoln County Public Utilities.						
10/10/2023		10/13/2023	FIRE MARSHAL - COUNTY PRE-APPLICATION	Burl Shrum		
Notes:						
<ol style="list-style-type: none"> 1. All pavement shall support vehicles weighting up to 75,000 lbs. 2. All travel paths shall be of sufficient clearance for a 45 ft. long emergency vehicle 3. All hydrants shall be yellow in color, have a 5 inch Storz connection on the steamer connection, have a min. 36 inches clearance around them both during and after construction, and no vertical construction shall begin until hydrants are in full operation and confirmed by the contractor. 4. Hydrant shall be no further than 100 ft. from the FDC and have a 5 inch Storz connection on the steamer port, the FDC shall have a 5 inch Storz connection 5. All parking lot travel paths shall be min. 20 ft. wide and the islands shall be of a distance to allow for the operation of a 40 ft. long emergency vehicle. 6. Knox box shall be on the building 7. Driveway entrances shall be min. 26 ft. wide 8. Address numbers shall be 6 inches tall and visible from the street 9. All underground thrust blocks shall be observed by the fire marshal's office before being covered 						
10/10/2023	10/26/2023	10/13/2023	INSPECTIONS PRE- APPLICATION	Jeff Wesdyk	COMPLETE	
Notes:						
All permits required per NC Building Code are to be submitted prior to commencement of work on the building.						

Project Reviews

Lincoln County

10/10/2023		10/13/2023	NATURAL RESOURCES PRE-APPLICATION	Danielle Rudisill		
<p>Notes:</p> <p>An Erosion Control Plan will be required for the project in accordance with all applicable state and local standards.</p> <p>Points of discharge must be within the site unless otherwise approved by the Director of the Lincoln County Natural Resources Department and adjoining owners.</p>						
10/10/2023		10/13/2023	NCDOT PRE-APPLICATION	Michael Watson		
<p>Notes:</p> <p>NCDOT driveway permits will be required in accordance with standard procedure.</p> <p>The driveway accesses proposed will likely improve the concentration of flow into and out of the site.</p>						
10/10/2023		10/13/2023	PUBLIC WORKS - COUNTY PRE-APPLICATION	Jonathan Drazenovich		
<p>Notes:</p> <p>The site is served by public water and sewer. The proposed use is acceptable to the current sewer service provided. Any or all updates upon completion of work will be coordinated/required through the traditional process.</p>						

